

ORDINANCE NO. 2308

AN ORDINANCE OF THE CITY OF REDMOND, WASHINGTON, AMENDING THE REDMOND MUNICIPAL CODE AND THE REDMOND COMMUNITY DEVELOPMENT GUIDE TO ADOPT RESIDENTIAL REGULATIONS, NORTH REDMOND RESIDENTIAL DEVELOPMENT AND CONSERVATION OVERLAY ZONE AND AMENDED ZONING MAP, MULTIPLEX REGULATIONS, RESIDENTIAL ARCHITECTURAL AND SITE DESIGN REGULATIONS, AMENDED COTTAGE HOUSING REGULATIONS, AMENDED PLANNED RESIDENTIAL DEVELOPMENT REGULATIONS, AND AMENDED AFFORDABLE HOUSING REGULATIONS APPLICABLE TO THE NORTH REDMOND NEIGHBORHOOD, AND ESTABLISHING EFFECTIVE DATE.

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WHEREAS, the Growth Management Act authorizes the preparation and adoption of neighborhood plans; and

WHEREAS, the City of Redmond Comprehensive Plan directs the preparation and adoption of a neighborhood plan for the North Redmond Neighborhood; and

WHEREAS, the City of Redmond has prepared the North Redmond Neighborhood Plan, and on March 10, 2006, issued a Determination of Non-Significance for the proposed amendments; and

WHEREAS, the Council-appointed North Redmond Neighborhood Citizen Advisory Committee conducted 3-4 public meetings per month for fifteen months, to receive public comments and develop a recommended neighborhood plan; and

WHEREAS, the Planning Commission has conducted one public hearing and a number of public meetings to receive public comments on the North Redmond Neighborhood Plan proposed by the North Redmond Neighborhood Citizen Advisory Committee; and

WHEREAS, the Planning Commission refined the Plan as proposed by the Citizen Advisory Committee, and on May 24, 2006 recommended approval of the North Redmond Neighborhood Plan to the Redmond City Council; and

WHEREAS, the City Council has conducted public meetings to review the Plan and receive public comment; and

WHEREAS, the City of Redmond desires to adopt development regulations to implement the neighborhood plan, NOW, THEREFORE,

THE CITY COUNCIL OF THE CITY OF REDMOND, WASHINGTON, DO  
ORDAIN AS FOLLOWS:

Section 1. New North Redmond Neighborhood Regulations. Section 20C.70.30-010 *Purpose* of the Redmond Municipal Code and the Redmond Community Development Guide is hereby amended to read as shown in Exhibit 1, attached hereto and incorporated herein by this reference as if set forth in full.

Section 2. New North Redmond Neighborhood Regulations. Section 20C.70.30-020 *North Redmond Residential Development and Conservation Overlay Zone Density Transfer and Limitations* of the Redmond Municipal Code and the Redmond Community Development Guide is hereby amended to read as shown in Exhibit 1, attached hereto and incorporated herein by this reference as if set forth in full.

Section 3. New North Redmond Neighborhood Regulations. Section 20C.70.30-030 *North Redmond Subdivision Design Requirements* of the Redmond Municipal Code and the Redmond Community Development Guide is hereby amended to read as shown in Exhibit 1, attached hereto and incorporated herein by this reference as if set forth in full.

Section 4. New North Redmond Neighborhood Regulations. Section 20C.70.30-040 *North Redmond Architectural, Site, and Landscape Design: General Provisions* of the Redmond Municipal Code and the Redmond Community Development Guide is hereby amended to read as shown in Exhibit 1, attached hereto and incorporated herein by this reference as if set forth in full.

Section 5. New North Redmond Neighborhood Regulations. Section 20C.70.30-050 *Multiplex Housing* of the Redmond Municipal Code and the Redmond Community Development Guide is hereby amended to read as shown in Exhibit 1, attached hereto and incorporated herein by this reference as if set forth in full.

Section 6. New North Redmond Neighborhood Regulations. Section 20C.70.25-060 *Residential Architectural, Site, and Landscape Design Standards* of the Redmond Municipal Code and the Redmond Community Development Guide is hereby amended to read as shown in Exhibit 1, attached hereto and incorporated herein by this reference as if set forth in full.

Section 7. Amend Cottage Housing Requirements. Section 20C.30.52 *Cottage Housing Developments* of the Redmond Municipal Code and the Redmond Community Development Guide is hereby amended to read as shown in Exhibit 2, attached hereto and incorporated herein by this reference as if set forth in full.

Section 8. Amend Planned Residential Development Housing Requirements. Section 20C.30.105, *Planned Residential Development* of the Redmond Municipal Code and the Redmond Community Development Guide is hereby amended to read as shown in Exhibit 2, attached hereto and incorporated herein by this reference as if set forth in full.

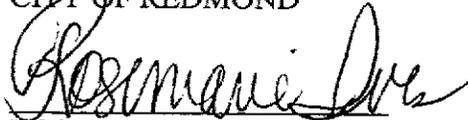
Section 9. Amend Affordable Housing Requirements. Section 20D.30.10, *Affordable Housing* of the Redmond Municipal Code and the Redmond Community

Development Guide is hereby amended to read as shown in Exhibit 2, attached hereto and incorporated herein by this reference as if set forth in full.

Section 10. Amend Zoning Map. The official Zoning Map established by Section 20C.10.15-010, *Establishment of Zoning Map*, of the Redmond Municipal Code and the Redmond Community Development Guide is hereby amended as shown in Exhibit 2, attached hereto and incorporated herein by this reference as if set forth in full.

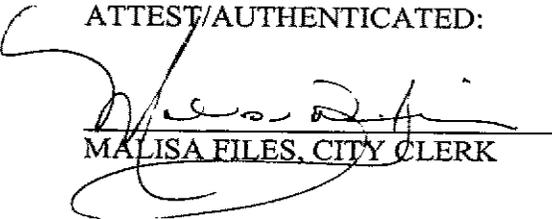
Section 11. Effective Date. This ordinance, being an exercise of a power specifically delegated to the city legislative body, is not subject to referendum, and shall take effect five days after passage and publication of an approved summary thereof consisting of the title.

CITY OF REDMOND



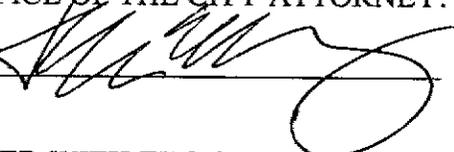
ROSEMARIE IVES, MAYOR

ATTEST/AUTHENTICATED:



MALISA FILES, CITY CLERK

APPROVED AS TO FORM:  
OFFICE OF THE CITY ATTORNEY:

By: 

FILED WITH THE CITY CLERK:  
PASSED BY THE CITY COUNCIL:  
SIGNED BY THE MAYOR:  
PUBLISHED:  
EFFECTIVE DATE:  
ORDINANCE NO. 2308

November 3, 2006  
November 7, 2006  
November 7, 2006  
November 13, 2006  
November 18, 2006

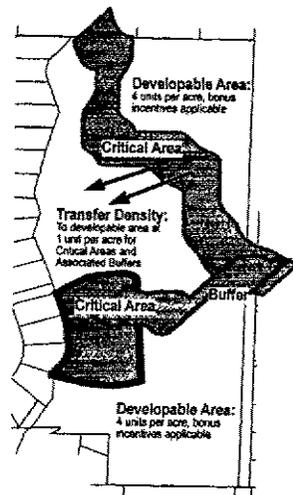
# North Redmond Neighborhood Plan Update Regulations

## 20C.70.30 North Redmond Neighborhood Regulations.

### 20C.70.30-010 Purpose.

The North Redmond neighborhood plan, as described in the Neighborhoods Element of the Comprehensive Plan, includes goals and policies to implement the neighborhood's vision. Regulations in this chapter of the Redmond Community Development Guide are established to implement the goals and policies described in the Neighborhood Plan. The regulations are designed to accommodate growth in the North Redmond neighborhood that is consistent with the City's Comprehensive Plan policies while promoting the desired characteristics for the neighborhood.

### 20C.70.30-020 North Redmond Residential Development and Conservation Overlay Zone Density Transfer and Limitations\*.



**Figure 1: North Redmond Residential Development and Conservation Overlay Density Transfer**

The Residential Development and Conservation Overlay Zone is applied to those properties within the North Redmond neighborhood and adjacent pre-annexation areas as shown on the zoning map. This designation establishes a maximum for the underlying zoning at R-4 in those areas determined to be developable in the Critical Areas Report, submitted at the time of application for development. Additionally, for those areas determined to be critical areas and the associated buffers, densities may be transferred to developable areas at a maximum of one unit per acre (see Figure 1). A rezone for higher densities beyond the established R-4, four units per acre, may not occur. In addition to the allowed density, bonus incentives are applicable as designated in the North Redmond neighborhood plan, RCDG 20C.70.30, or elsewhere in the Redmond Community Development Guide.

\* Implementation of the overlay zone for the designated properties lying to the west of Redmond-Woodinville Road and east of the Sammamish Valley shall become effective following adoption of the Redmond-Woodinville Road design and circulation study and resulting development standards, or on September 30, 2008; whichever occurs first. This study will address the character of the Redmond-Woodinville corridor as a green gateway to the City of Redmond, safety concerns related to pedestrian, bicycle, and automobile access and circulation, and internal circulation for adjacent re-development.

### **20C.70.30-030 North Redmond Subdivision Design Requirements.**

In addition to general subdivision regulations, Policies N-NR-1 through N-NR-65 shall be used in the review of new subdivisions, planned residential development, and master planned developments in the North Redmond neighborhood. Building setback requirements established in RCDG 20C.70.30-060 shall be noted in the subdivision layout. (Ord. 1901)

### **20C.70.30-040 Residential Architectural, Site and Landscape Design: General Provisions.**

- (1) Purpose. The purpose of this section is to establish residential design standards for building, site, and landscape design in the North Redmond Neighborhood and to guide preparation and review of all applicable development applications. These design standards are intended to assist development applicants in adhering to the desired form of community design in the neighborhood as expressed by goals, policies, and regulations of the Redmond Community Development Guide, which includes the Comprehensive Plan. The purpose of the design guidelines is to:
  - (a) Encourage variety and visual interest in new residential development in a manner that is compatible with the neighborhood character.
  - (b) Engage streetscapes with dwellings by bringing living space toward the street.
  - (c) Ensure that dwelling units are of a scale that is proportional to their lot size.
  - (d) Provide for the use of landscaping to help provide a transition between new and existing development, to enhance building and site appearance, and to maintain and enhance the environmental quality of the neighborhood.
  - (e) Sustain the semi-rural character of North Redmond by encouraging the preservation of mature trees and habitat and providing trails and walkways through natural areas of the neighborhood.
  - (f) Establish interconnectedness of streets and pedestrian corridors between developments and promote the preservation and establishment of open space corridors throughout the neighborhood.
  - (g) Promote the use of low-impact development techniques.
  - (h) Encourage public safety for citizens of the neighborhood through building and site design.
  - (i) Assist applicants and decision-makers reviewing development applications.
  - (j) Comply with RCDG 20D.40.10-010, Design Standards – Purpose and Intent.
- (2) Applicability.
  - (a) The neighborhood residential design standards apply to applications for new attached, detached single-family development, and remodels in the North Redmond Neighborhood. (See North Redmond Neighborhood Map at the end of this section)
  - (b) All applications for residential development after the effective date of the North Redmond Neighborhood Plan update which result in a building permit for construction of a new single-family detached, attached dwelling unit, or remodel, unless otherwise exempted by this chapter, shall comply with the intent statements and design criteria as provided in this section and RCDG 20D.40.10-020 (2)(d), (e) and (f), Compliance with the Design Standards. Dwellings built prior to adoption of these regulations are not considered nonconforming dwellings.
- (3) Administration.
  - (a) Review Process. Building permit applications requiring design review approval shall be processed in accordance with RCDG Title 20F, Administration and Procedures.
  - (b) Administrative Approval. The Code Administrator shall decide compliance with the design standards. The Design Review Board may become involved in advising the Code Administrator in deciding compliance with the design standards. In no instance shall the Design Review Board act as an appellatant body.

- (c) Approval Timing. Compliance with the design standards shall be decided prior to issuance of applicable building permits. (Ord. 2126; Ord. 1901)
- (4) References. The following RCDG divisions also contain residential regulations specific to the North Redmond Neighborhood.
  - (a) Cottage Housing Developments: RCDG 20C.30.52
  - (b) Planned Residential Development: RCDG 20C.30.105
  - (c) Affordable Housing: RCDG 20D.30.10. (Ord. 2126, Ord. 1901)

**\*\*\*\*INSERT MAP OF NORTH REDMOND NEIGHBORHOOD\*\*\*\***

**20C.70.30-050 Multiplex Housing.**

- (1) Purpose. RCDG 20C.30.70 contains regulations on multiplex housing that apply Citywide until neighborhood plans set the policy on multiplex housing for the neighborhood. The following regulations take the place of RCDG 20C.30.70 for the North Redmond Neighborhood for Single-Family Urban zones. All multiplex dwelling units in these zones must meet certain criteria and conditions for location, density, and design to ensure compatibility with the neighborhood. This section contains those conditions.
- (2) Applicability.
  - (a) Duplexes, triplexes, and fourplexes are an allowed use on individual lots in locations designated Single-Family Urban in the North Redmond Neighborhood, provided that units are interspersed with a variety of other housing types and sizes, with up to one entrance per side and uniform architecture of attached dwelling units.
- (3) Density. The allowed number of dwelling units contained in duplexes, triplexes, and fourplexes shall not exceed the allowed number of detached single-family dwelling units.
- (4) Lot Division. The lot division provisions of RCDG 20C.30.70-030(2) shall apply.
- (5) Design. Multiplex dwelling units and accessory structures shall have the following design features in addition to those required by RCDG 20C.70.30-060, Residential Architectural, Site and Landscape Design Standards:
  - (a) Shall have a minimum lot size of 150 percent of the average minimum lot size for the zone.
  - (b) Shall maintain the traditional character and quality of detached single-family dwelling units by using design elements such as single points of entry per side, pitched roofs, visible trim or framing around windows, porches, and chimneys.
  - (c) Architectural treatments shall not differentiate between attached multiplex dwellings.
  - (d) Multiplex units shall be interspersed with other housing types, such as detached dwellings, and shall not be located adjacent to each other.
  - (e) Should be consistent in height, bulk, scale and style with nearby single-family residential uses.
  - (f) Surface parking for multiplex dwelling units should be in groups of no more than three stalls to appear more consistent with parking for single-family detached dwellings in the area.
  - (g) If parking areas include more than three stalls, they should be visually separated from the street or common areas through site planning, landscaping, or natural screening.
- (6) Review and Decision Procedures: Review and decision for duplexes shall occur through the Type I process.

**20C.70.30-060 Residential Architectural, Site and Landscape Design Standards.**

- (1) Purpose.

- (a) To establish criteria for design review of new single-family attached and detached dwelling units, remodels, and associated landscaping in the North Redmond Neighborhood per RCDG 20C.70.30.040.
  - (b) To establish landscape requirements for new and improved streets, including drainage swales, in the North Redmond Neighborhood.
- (2) Variety and Visual Interest in Building and Site Design.

(a) Intent.

- (i) **Character Compatibility.** Building and site design that provide variety and visual interest help to provide compatibility with the character of the surrounding neighborhood. Neighborhood characteristics include variety in house style and lot sizes, a mix of home choices ranging from attached single-family residences and cottages to large luxury homes to meet the needs of many household types, sizes, and age ranges, a feeling of spaciousness and open green spaces, and abundance of trees and other greenery.
- (ii) **Variety in Building and Site Design.** To prevent the repetitive use of the same combination of building features and site design elements within residential developments and between adjacent dwellings.

(b) Design Criteria.

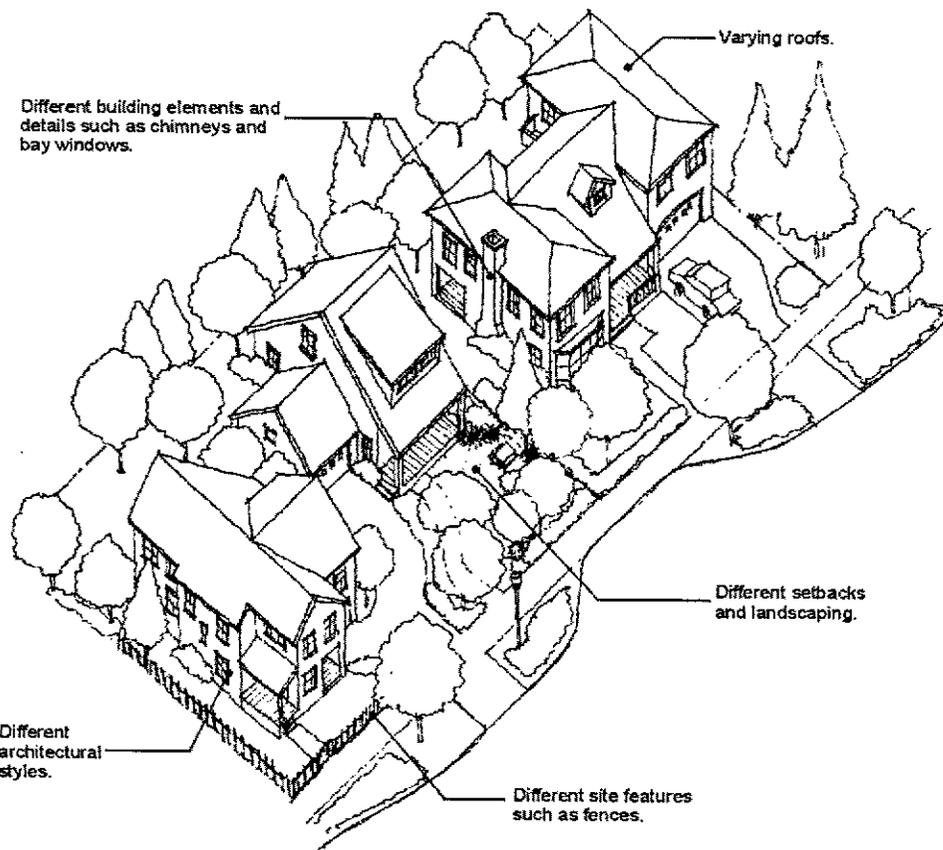
- (i) **Variety in Building Design.** The same combination of building elements, features and treatments shall not be repeated for more than 20 percent of the total dwelling units in a residential development. Variety is defined by a differentiation of nine or more building elements, features, and treatments as listed below. Dwellings with the same combination of features and treatments shall not be located adjacent to each other. For example, each dwelling in a five-lot subdivision could include a porch provided building elements such as the details of the porch, roof shape, building materials, or building accents were varied to achieve visual interest. Short subdivisions less than five lots shall not repeat the same combination. (See Figure 2)

Examples of building elements, features, and treatments that provide variety and visual interest (see Figure 2):

- (A) Porches, front decks/patios, or balconies.
- (B) Varying roof shapes, styles, or gables.
- (C) Windows with visible trim, shutters, and mullions.
- (D) Decorative roof brackets or bric-a-brac.

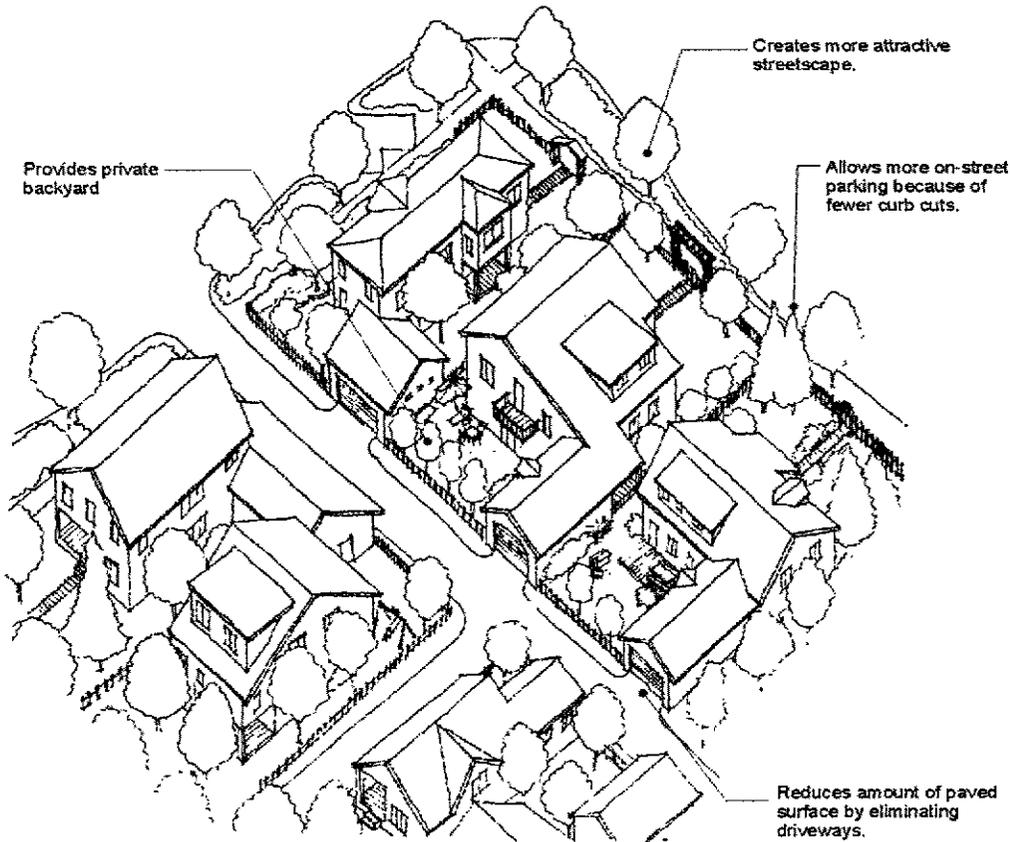
- (E) Dormers.
- (F) Fascia boards.
- (G) Bay windows.
- (H) Entry enhancement such as a well detailed door (multi-panel or glass insert), window adjacent to front door, or roof extension.
- (I) Trellis.
- (J) Modulation and articulation.
- (K) Chimney (shown on the exterior of the house).
- (L) Variation in roof or building colors, cladding, or materials, such as brick, stone or other masonry as accents.
- (M) Variation in housing type and size including one- and two-story housing units.
- (N) Other building elements, treatments, features, or site designs approved by the Code Administrator that provide variety and visual interest.

**Figure 2: Variety in Building and Site Design**



- (ii) **Variety in Site Design.** Variation in site design shall be achieved through the use of various site planning methods and techniques. Also use various site planning methods and techniques to provide variation in dwellings located on a site perimeter when visible from public streets or park areas. Examples of site design elements that provide variety and visual interest include (See Figure 2):
  - (A) Variation in lot sizes or orientation.
  - (B) Variation in setbacks.
  - (C) Variation in dwelling unit size or type among adjacent or nearby structures along a street.
  - (D) Variation in type of driveway (shared driveway or not shared).
  - (E) Alleys. (See Figure 3)
  - (F) Other site design features approved by the Code Administrator that provide variety and visual interest.
- (iii) **Exemptions.** Expansions to single-family homes are exempt from RCDG 20C.70.30-060(2), Variety and Visual Interest in Building and Site Design.

**Figure 3: Benefits of Alley Access**



(3) Building Orientation.

(a) Intent. Provide active streetscapes that promote a more walkable and enjoyable neighborhood experience for residents, and retain some of the area's natural qualities along major arterials. Dwelling, site, and streetscape design should incorporate features that bring the primary living area of the dwelling toward the street, and provide setbacks along major arterials to create visual variety. (See Figure 4)

(b) Design Criteria.

(i) Arterial Setback Requirements. The following street setbacks apply for the North Redmond neighborhood. The specific setbacks replace setbacks required in RCDG 20C.30.25-140, Site Requirements Chart. \*The corridor design and character related to Redmond-Woodinville Road and 154<sup>th</sup> Place NE, within the North Redmond Neighborhood, shall be determined as part of the Redmond-Woodinville Road Corridor Study (RCDG 20C.70.30-020).

(A) Landscape buffers shall be required along the Redmond-Woodinville Road\*, NE 124<sup>th</sup>/128<sup>th</sup> Streets, and NE 116<sup>th</sup> Street to reduce both the visual and noise impacts of traffic on residential development and to enhance the parkway qualities of the Redmond-Woodinville Road\*. Buffers shall blend with the natural surroundings by use of berms, trees, and plant material, and shall be designed with minimal maintenance requirements.

(B) Redmond-Woodinville Road\*. All buildings on the east side of Redmond-Woodinville Road\* (SR202) shall be setback 75 feet. This setback shall be measured from the edge of the proposed right-of-way. Accessory structures, including fences, are prohibited in this setback. See subsection (C) for setbacks on the west side of the road.

(C) Other Road Setbacks. Buildings shall be setback 15 percent of the depth of a parcel before subdivision along the north side of NE 116<sup>th</sup> Street, the south side of NE 124<sup>th</sup>/128<sup>th</sup> Street, the west side of Redmond-Woodinville Road\*, and the east side of 154<sup>th</sup> Place NE\*. Setbacks may be reduced if the setback area is landscaped and established as a permanent open space corridor but buildings are not located closer than 50 feet from the edge of the proposed right-of-way. Setbacks may be further reduced (but no less than required in RCDG 20C.30.25-140, Site Requirements Chart) for development on parcels two acres or less in size. Accessory structures are prohibited in this setback with the exception of non-sight-obscuring fences (such as post and rail) and improvements less than 30 inches in height (such as patios). These improvements shall be allowed up to 25 feet into the setback. Trail systems that provide for pedestrian access shall also be allowed in the setback. (Ord. 1901)

(D) The minimum setback for all structures that are 36 inches above the grade and adjacent to 172<sup>nd</sup> Avenue NE shall be 20 feet.

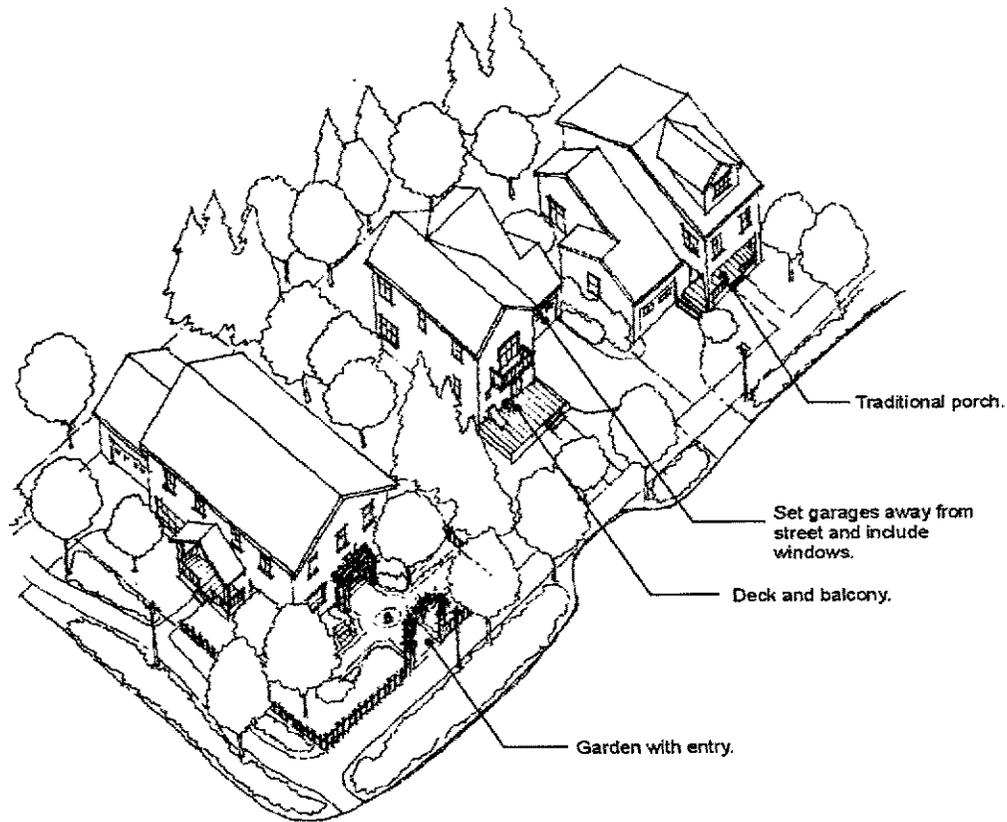
(ii) Garage Placement.

(A) Garages shall not be the dominant feature as viewed from the street.

(B) Garages facing the front street shall be set back a minimum of five feet from the street elevation of the dwelling, or otherwise designed and placed in a manner that meets the intent of this section, such as recessing under a second story or a projecting roofline, or other treatment(s). The front street elevation of a side-loaded garage shall have a minimum of one opening (i.e., window or door). Garages that face another direction, i.e., side- and alley-loaded garages are exempt from the five-foot setback requirement.

(iii) Garage Doors. Garage doors facing the front street shall include windows, multiple garage doors (for example, one door per parking stall) or other architectural treatments that reduce the mass of the garage door surfaces and meet the intent of this section.

- (iv) Transition Area. Provide a minimum 80-square-foot area in the front yard that is oriented toward the front street and includes a porch (minimum dimension eight feet on all sides), patio, deck, garden with entry, walkway with arbor, or other feature(s) that meets the intent of this section.
- (v) Alleys. There shall be a minimum four-foot yard setback for garages that are accessible from an alley. For the purpose of providing visual appeal and interest, when an alley is adjacent to a rear yard, yard landscaping shall extend to the edge of the alley or a landscape strip between the alley and the fence shall be provided.
- (vi) Other Methods. The Code Administrator may approve other methods that meet the intent of this section.



**Figure 4: Building Orientation. Three options for providing living space oriented toward the street.**

- (vii) Exemptions. The following exemptions apply to expansions to single-family dwelling units that were built prior to the effective date of this ordinance:

- (A) When an expansion is greater than 50 percent of the existing gross floor area of the dwelling unit and does not include a garage, subsection (3)(b)(iv) of this section, Transition Area, applies.
- (B) When an expansion is greater than 50 percent of the existing gross floor area of the dwelling unit and includes a garage, subsection (3) of this section, Building Orientation, applies.
- (C) When the expansion consists of a garage only, subsection (3)(b)(i) of this section, Garage Placement, and subsection (3)(b)(iii) of this section, Garage Doors, apply.

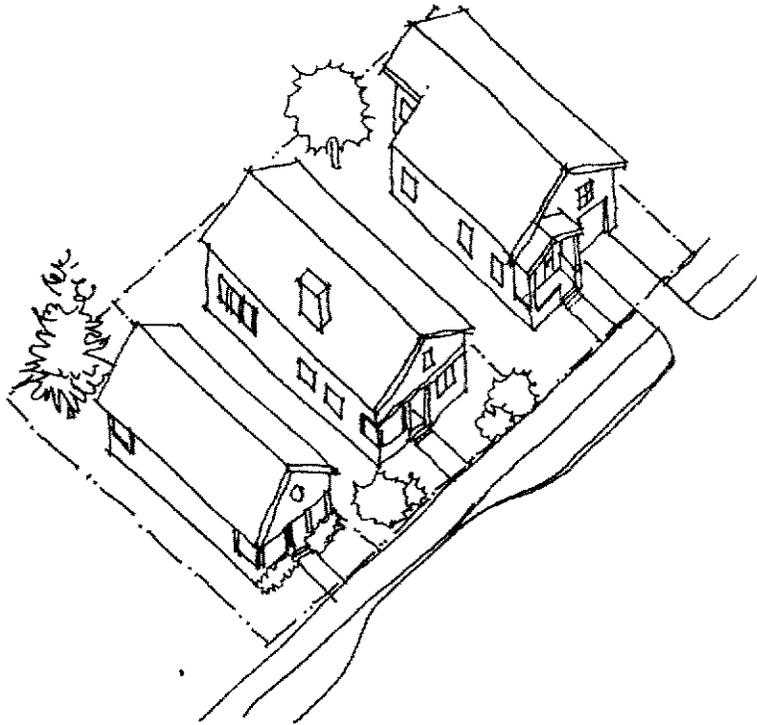
(4) Building Character, Proportionality and Massing.

(a) Intent.

- (i) Lot/Structure Proportionality. Lot coverage requirements help to maintain a consistent and compatible land use pattern. A primary land use pattern in the North Redmond Neighborhood is dwellings that appear proportional to their lot size. New or expanded dwellings that do not appear oversized for their lot are proportional to their lot size and are compatible with the neighborhood. (See Figure 5)
- (ii) Building Character and Massing. Reduce the apparent size of large infill and multi-plex buildings and give them more visual interest through the use of design techniques. The application of design techniques shall promote compatibility with the surrounding neighborhood while maintaining variety and visual interest in building design.
- (iii) Open Space. Provide visual relief from the massing and scale of built development through site design techniques such as centrally locating open space and preservation of mature trees.

(b) Design Criteria.

- (i) Maximum Lot Coverage for Structures. The maximum lot coverage for two-story and split-level structures shall be 35 percent in the Residential Innovative, NC-1, and R-4 through R-8 zones in the North Redmond Neighborhood to help ensure that dwelling units are of a scale that is proportional to the lots on which they are located. Single-story structures built to meet universal accessibility standards shall be permitted up to 45% lot coverage in these zones.
- (ii) Lot Coverage for Cottages. Lot coverage for cottages is provided in RCDG 20C.30.52, Cottage Housing Developments.



**Figure 5: Single-family dwellings that are proportional to their lot size**

- (iii) **Modulation and Articulation.** Use modulation and articulation to reduce the perceived size of large infill buildings, and to provide visual interest for all buildings that have a façade facing the street on any front, street side or rear property line.. The use of these techniques shall be varied between adjacent buildings. (See Figure 6)
- (A) Articulation is the giving of emphasis to architectural elements (like windows, balconies, entries, etc.), that create a complimentary pattern or rhythm, dividing the large buildings into smaller identifiable pieces.
  - (B) Modulation is a measured and proportioned inflection in a building's face. Together articulation, modulation and their interval create a sense of scale important to residential buildings.
- (iv) **Consideration of Site Conditions.**
- (A) Buildings shall be designed to fit the topography, such as stepping down a hillside or terrace. (See Figure 7)
  - (B) Buildings should be designed to preserve existing mature trees. See Landscape Section.
  - (B) Avoid placing large picture windows in second story areas of the structure that look down into the previously private yards of neighboring properties.

- (v) Building Separation. Minimum building separation shall be 15 feet except for small structures including cottages, size limited dwellings, accessory dwelling units and accessory structures. Minimum building separation for cottages is provided in RCDG 20C.30.52, Cottage Housing Developments. Minimum building separation for size limited dwellings, accessory dwelling units, and locations where these structures or cottages adjoin larger dwelling units shall be 10 feet.
- (vi) Building Encroachments.
  - (A) Chimneys and porches in interior setback areas shall be set back a minimum of five feet from the nearest property line.
  - (B) Bay windows may encroach into a side interior setback but shall not be closer than 3.5 feet from the nearest property line.
- (vii) Open Space.
  - (A) A minimum of 25 percent of the required open space for residential developments of 30 dwelling units or more shall be located as common open space and be designed to achieve at least five (5) of the following:
    - Provide visual relief from the massing of development.
    - Serve the recreational needs of residents of the development.
    - Create children's play area(s) that is visible and accessible for use by the residents.
    - Provide habitat for wildlife.
    - Create open space that includes trails accessible to by the residents.
    - Provide open space that is centrally located and adjacent to a majority of the residences.
    - Create linkages with open space on neighboring properties.
    - Create a buffer between the new development and existing nearby homes.
    - Create a play area/park that is open and accessible for use by the North Redmond neighborhood.

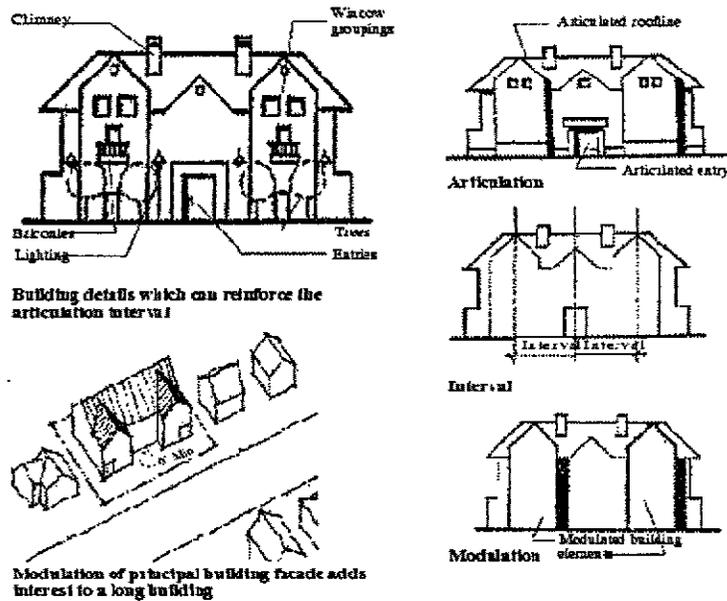


Figure 6: Modulation and Articulation

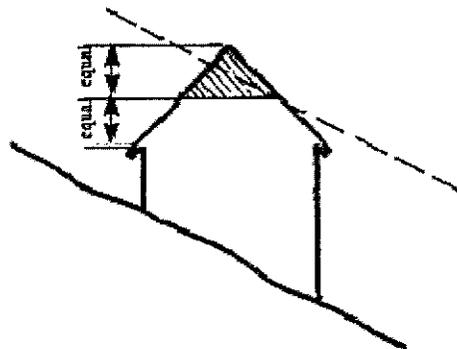


Figure 7: Consideration of Site Conditions: Buildings step down or terrace down a hillside thus fitting into the topography

- (B) Common open space shall be usable area for passive or active recreation, provided such uses do not include non-permeable surfaces. Uses may include, but not be limited to picnic tables, benches, trails and linkages, scenic viewing areas, children's play equipment, or sports courts that are paved with permeable materials.
- (C) When minimum open space requirements are met on a development-wide basis in residential developments of 10 dwelling units or more, this section applies.
- (D) Where possible, common open space shall be interconnected within the development and with open space on adjacent developments.
  - Easements shall be provided at appropriate locations toward the end of cul-de-sacs or along lengthy streets to provide pedestrian access to open space and/or to adjacent developments in accordance with Section (8)(c) of these provisions.

- (E) The minimum open space requirement shall be 25 percent for clustered housing and planned residential developments for the North Redmond neighborhood.

(5) Stormwater and Infiltration.

(a) Intent.

- (i) Stormwater runoff. Minimize stormwater runoff through site design and on-site treatment facilities and other infrastructure.

- (ii) Infiltration. Maintain pre-development amounts of groundwater recharge.

- (b) General Requirements. General requirements for stormwater infrastructure and infiltration techniques are provided in the Stormwater Technical Notebook.

(c) Design Criteria.

- (i) Site Design. Stormwater management and infiltration design shall closely match the pre-development amounts, at the discretion of the City's Technical Committee, to allow for groundwater recharge and to help prevent increased runoff to City streams. Designs are encouraged to include and are not limited to the following controls:

- (A) Plan for and design a Low-Impact Development or utilize Low-Impact Development Techniques as defined in the Low Impact Development Technical Guide Manual for Puget Sound, prepared by the Puget Sound Action Team.

- (B) Preserve and restore native and natural vegetation.

- (C) Preserve and restore native soil.

- (D) Minimize total impervious surfaces.

- (E) Design small scale, distributed hydrologic controls.

- (F) Minimize site disturbance, avoid critical areas, and reduce fragmentation of landscape.

- (G) Eliminate and reduce to an absolute minimum the crossing of streams with streets and other infrastructure. Incorporate bridge design as a preference to culverts.

- (H) Locate lots strategically for dispersion of stormwater to open space areas.

- (I) Maximize on-lot infiltration and open conveyance.

- (J) Reduce the building footprint.

- (K) Limit clearing and grading to the minimum amount necessary.

- (ii) Low-Impact Development (LID) standards encouraged.

- (A) Developments that incorporate LID standards and practices in consistency with the Low Impact Development Technical Guide Manual for Puget Sound, prepared by the Puget Sound Action Team, are strongly encouraged.

- (1) Low impact development (LID) is a stormwater management and land development strategy that emphasizes conservation and use of on-site natural features integrated with engineering, and small-scale hydrologic controls to more closely mimic pre-development hydrologic functions. Development techniques include a variety of controls that are defined in the manual and include:

- (a) Site assessment and planning;

- (b) Preservation of native soils and vegetation;

- (c) Bioretention swales; and

- (d) Minimal excavation foundations.

- (2) Low impact developments as defined in the manual shall undergo expedited permit processing including an LID checklist and review.
- (3) Developments that utilize a minimum of 8 of the following LID techniques shall be entitled to a 5% bonus density provided that the overall impervious surface of the development is not increased beyond the standard residential site requirements by zone or development type. This should be accomplished through the use of carriage units, ADU's, and size limited dwellings.
  - (a) Minimize individual lot size (3,000 to 4,000 square-foot lots);
  - (b) Minimize building setbacks;
  - (c) Use zero lot line set backs to increase side yard area;
  - (d) Use cottage designs for a highly compact development envelope;
  - (e) Amend disturbed soils to regain stormwater storage capacity;
  - (f) Drain rooftops to cisterns for non-potable reuse within the house or garden;
  - (g) Utilize vegetated roof systems to evaporate and transpire stormwater;
  - (h) Plan and design roads and lots to minimize grading;
  - (i) Plan and design the site, infrastructure, and land features so that stormwater from lots not adjacent to forested/open space infiltration areas can be conveyed in swales or dispersed as low velocity (< 1fps) sheet flow to the infiltration areas, provided that runoff added to an infiltration area does not adversely affect the health of the natural elements in or general ecology of such areas;
  - (j) Orient lots to use shared driveways to access houses along common lot lines;
  - (k) Maximize privacy and livability within cluster developments, locate as many lots as possible adjacent to open space, orient lots to capture views of open space, and design bioretention swales and rain gardens as visual buffers; and
  - (l) Set natural resource protection areas aside as a permanent tract or tracts of open space with clear management guidelines.
  - (ix) The Code Administrator may approve other methods that achieve the intent of design criteria (4)(b)(i) Maximum Lot Coverage for Structures, (iii) Modulation and Articulation, (iv) Consideration of Site Conditions, and (5)(c)(ii) Low-Impact Development Standards.

(6) Landscaping.

(a) Intent.

- (i) Vegetation. Include vegetation in residential landscaping areas to soften the bulk and mass of buildings, to add visual interest, and to maintain and enhance the environmental quality of the neighborhood.
- (ii) Wildlife Habitat. Benefit wildlife habitat in the neighborhood by providing landscaping that supports wildlife and minimizes opportunities for invasion by noxious plants as identified by the Washington State Noxious Weed Board. .
- (iii) Conservation. Promote water conservation by encouraging drought tolerant vegetation.
- (iv) Stormwater Management. Reduce erosion and stormwater runoff, and improve water quality using LID standards and guidelines for landscaping using compost-amended soils.
- (v) Maintain Vegetation. Maintain existing mature trees and provide for replacement of existing vegetation.
- (vi) Plant Materials. Promote maintenance and proper plant selection relative to the location and soil conditions so that plant materials can flourish.

- (vii) **Pedestrian Safety.** Promote pedestrian safety by separating walkways from streets with a landscaped area and providing motorized and non-motorized connections between developments and throughout the neighborhood.
  - (viii) **Streetscapes.** Encourage visually appealing streetscapes that unify the neighborhood.
  - (ix) **Soils.** Promote the conservation of native vegetation and native soils to enhance groundwater quality and recharge.
- (b) **General Requirements.** General requirements for landscape plan approval performance assurance, planting practices, and planting standards are provided in Chapter 20D.80 RCDG, Landscaping and Natural Screening, LID standards, and standards for using composted soils. Compliance with Chapter 20D.80 RCDG is required.
- (c) **Design Criteria.**
- (i) **Landscaping and Landscape Plans Required.**
    - (A) Landscaping for the front yard shall be provided for all new residential development.
    - (B) A landscape plan shall be prepared or approved by a WA licensed landscape architect, certified nurseryman, or certified landscape technician. Construction of individual units that are not part of a short plat or long subdivision and expansions to single-family dwellings are required to provide a landscape plan but are exempt from this requirement to have the plan certified.
  - (ii) **Landscaping and landscape plans shall include:**
    - (A) A minimum of 51 percent of the planted area in the front yard shall be native or habitat plantings and shall include a mix of trees or shrubs and living ground cover.
    - (B) Vegetation for common areas.
    - (C) The selection of street trees that will result in a tree canopy at maturity along streets internal to or adjoining residential developments in accordance with the Street Tree Plan as a requirement of development, subdivision, and short subdivision.
    - (D) **Preservation of significant trees.** In addition to tree preservation requirements in RCDG 20D.80, the preservation of significant trees is deemed a high priority for the North Redmond neighborhood. New residential developments are encouraged to preserve as many significant trees as is feasible for the development. For these purposes, a higher priority shall be placed on the preservation of fir, cedar, and maple species and lesser priority shall be placed on the preservation of poplar, cottonwood, alder, and other pioneer species. The following bonuses are available to developments on which a minimum of 50% the land area is covered; canopy plus 5 feet; by higher priority tree species, and a minimum of 50% of the significant trees are being preserved:
      - Developments that preserve a minimum of 50% of the significant trees in the higher priority category shall be entitled to a 5% bonus density.
      - Developments that preserve a minimum of 75% of the significant trees in the higher priority category shall be entitled to a 10% bonus density.
    - (E) The selection of plant materials that are appropriate for the site and soil conditions, excluding noxious weeds as defined by the City. For example, plant acid loving plants in landscaped areas that contain acidic soils; match shade loving plants to shady areas and place plants that tolerate sun in sunny areas. Group plants according to their irrigation needs.
    - (F) **High quality and compost-amended soils.** In order to reduce stormwater run off and pollutants, developments are encouraged to preserve high quality soils existing on the site at the time of development for mixing with composted materials and reuse in the landscaped areas. Refer to the City of Redmond's Guideline for Landscaping with Compost-Amended Soil.
      - A minimum of 6 inches of compost, shall be provided in all planting areas.

- Compost-amended soils, shall be added to landscaped areas to achieve the minimum soil depth required by these regulations. Landscaping plans shall require a copy of receipt for purchase(s) of compost-amended soils.
- (G) Preservation of native soil. Replace removed soils at a depth equal to or greater than the original depth with native soils or other high quality material, prior to the transfer of ownership from the developer to the home owner, when native soil or substrate is removed from an area that is outside of the impervious footprint of a development.
- (iii) Native vegetation and soil conservation, and re-vegetation plan. In order to reduce the total impervious surface coverage, to provide for infiltration areas that closely mimic natural hydrologic functions, and to provide for enhancements to groundwater quality and recharge, developments are encouraged to maintain 50% of the on-site native vegetation, as defined in the Redmond Community Development Guide, including snags and nesting sites, and on-site native soils. A re-vegetation plan, including a long-term vegetation and soil management plan, shall be prepared and approved by a qualified urban forester or WA certified landscape architect such that disturbed areas, when exceeding 50% of a wooded or native vegetated portion, shall be re-established at conditions superior to pre-construction conditions.
- (A) Native vegetation and soil conservation areas shall be established and prioritized as follows:
- Large tracts of riparian areas that connect and create contiguous riparian protection areas.
  - Large tracts of critical and wildlife habitat area that connect and create contiguous protection areas.
  - Tracts that create common open space areas among and/or within developed sites.
  - Protection areas on individual lots that connect to areas on adjacent lots or common protection areas.
  - Protection areas on individual lots.
- (iv) Landscaping Transition.
- (A) For new subdivisions, short subdivisions, and similar residential developments, provide landscaping along the perimeter of the site that incorporates native vegetation as defined in the Redmond Community Development Guide and softens the transition between new and existing dwelling units when the new dwellings are directly adjacent to lots with existing dwellings or the dwellings can be viewed from public streets or park areas. (See Figure 8)
- (B) The Code Administrator may approve other methods that achieve the intent of the landscaping transition requirement, such as increased setbacks that soften the transition from existing to new dwelling units.
- (v) Exemptions.
- (A) Expansions to single-family dwellings built prior to the effective date of this ordinance are exempt from subsections (6)(c)(i), (6)(c)(ii), and (6)(c)(iii) of this section when the expansion is less than 25 percent of the existing gross floor area of the dwelling AND less than 50 percent of the existing landscape is being replaced. Single unit developments and expansions are exempt from subsection (6)(c)(iii) and (6)(c)(iv) of this section, Landscaping Transition.
- (B) Private open space as defined in RCDG 20C.30.52, Cottage Housing Developments is exempt from subsections (6)(c)(i), (ii),(iii), and (iv) of this section.

(vi) Landscape Drainage Swales. (See Appendix 20D-3)

(A) Applicability.

- Landscape drainage swales are encouraged within Low Impact Developments and on local access streets.

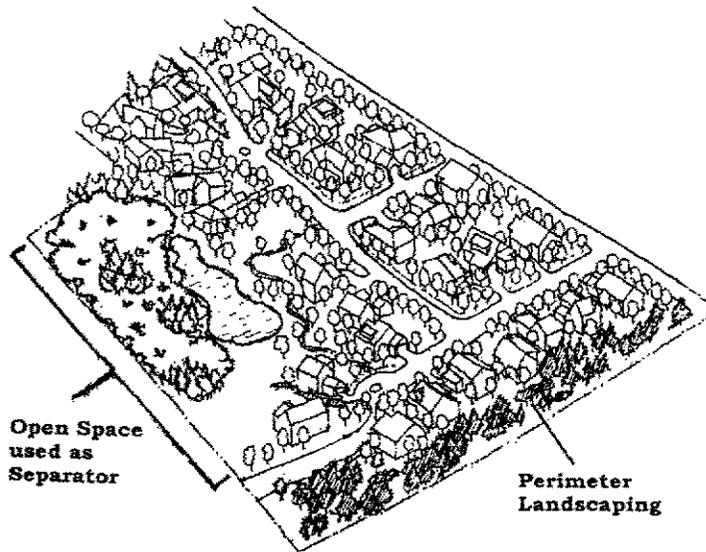
(B) General Design Criteria.

- Landscape Separation. Enhance the street edge by providing a separation between vehicle lanes and walkways that has an informal landscaped look.
- Landscape Edge. Provide a natural looking landscaped edge that does not sharply define the private property from the public area and street.
- Drainage Swales. At a minimum, design drainage swales to convey stormwater and to provide a natural looking and informal landscaped edge that separates walkways from vehicle lanes. Subdivisions should include, and short subdivisions are encouraged to include, drainage swales landscaped to enhance stormwater quality and control. Design standards for Low-impact Developments are encouraged for drainage swales.
- Swale Maintenance. Design drainage swales to minimize maintenance required by the City and adjacent property owners.

(C) Maintenance Responsibilities. The adjacent property owner or homeowners association is responsible for landscape maintenance, including irrigation of the swale as needed. The City will provide maintenance regarding the function of the drainage facility and a description of best management practices for swales for property owners.

(D) Examples of Recommended Drainage Swale Plantings. Plantings are recommended for their hardiness, including their ability to withstand drought and wet conditions. The RCDG Appendix contains examples of recommended drainage swale plantings.

(vii) Stormwater detention. Stormwater ponds shall be designed to be attractive in appearance and function. All surface ponds shall be landscaped, with native vegetation as defined in the Redmond Community Development Guide, and maintained while providing continuous vehicle access for maintenance. Any fencing shall be split rail or split rail combined with dark colored vinyl or powder coated chain link fence. Privately maintained stormwater detention vaults as approved by the Technical Committee may be used. Privately maintained stormwater facilities are encouraged to be designed for multiple uses including, but not limited to, gardens, play areas, or sports courts



**Figure 8: Two options for providing separation around new subdivisions.**

**(7) Fences.**

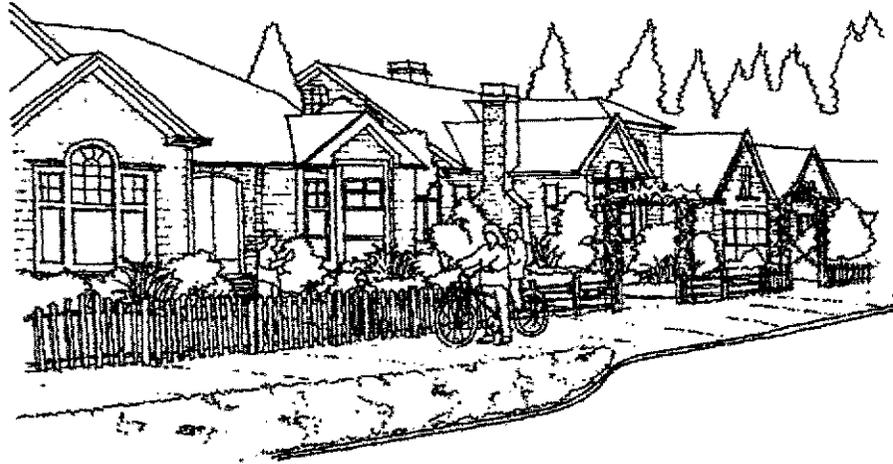
**(a) Intent.**

- (i) **Visibility.** Increase visibility of front yard and pedestrian corridors by using the principles of Crime Prevention Through Environmental Design (CPTED) program to increase public safety and to help deter crime.
- (ii) **Active and Walkable Neighborhood.** Promote and enhance the neighborhood as a walkable place. Reduce impacts on the pedestrian experience that may result from taller fencing.
- (iii) **Public Views.** Maintain the neighborhood's open space character and promote public view corridors by encouraging the application of open and blended styles of fencing and landscaped screens.

**(b) Design Criteria.** Where fences are used in the front yard setback or adjacent to public view corridors, trails, and trail corridors in the North Redmond Neighborhood, with the exception of properties adjacent to Redmond-Woodinville Road, the following standards shall apply:

- (i) **Maximum Height.** New fences and walls built within any front, street side, or rear setback area adjacent to an identified pedestrian or public view corridor shall be a no higher than 42 inches high (See Figure 9). Fencing with a maximum height of six (6) feet may be allowed along the rear or street side setback area, unless adjacent to an identified pedestrian or public view corridor. Deviations from this requirement are limited to fencing associated with swimming pools, landscaping alternatives such as landscaped berms or other designs that clearly meet the intent of this Section.
- (ii) **Materials and design.** No sight-obscuring fencing materials shall be allowed. Fence types shall be open and allow for a blended view, such as split rail fencing or split rail fencing combined with dark colored vinyl or powder coated chain link fence. Alternative materials or a combination of materials may be approved by the Administrator when demonstrated to meet the intent of this Section.

**(c) Exception.** City-wide fence regulations, RCDG 20C.30.55, shall apply for properties adjacent to Redmond-Woodinville Road.



**Figure 9: Low, see-through fences (maximum height – 42”) of variety and at a human scale.**

**(8) Streets and Pathways.**

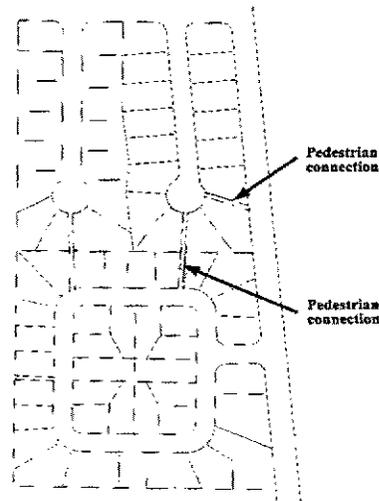
**(a) Intent.**

- (i) Ensure consistency with the North Redmond Neighborhood Plan, including the neighborhood transportation connections map
- (ii) Promote non-motorized connections throughout the neighborhood along safe and scenic corridors, including pathways that are separated from arterial streets.
- (iii) Provide connectivity within new developments and to adjacent developments, open space, and streets.
- (iv) Design streets to implement traffic calming measures that support the pedestrian environment in North Redmond.

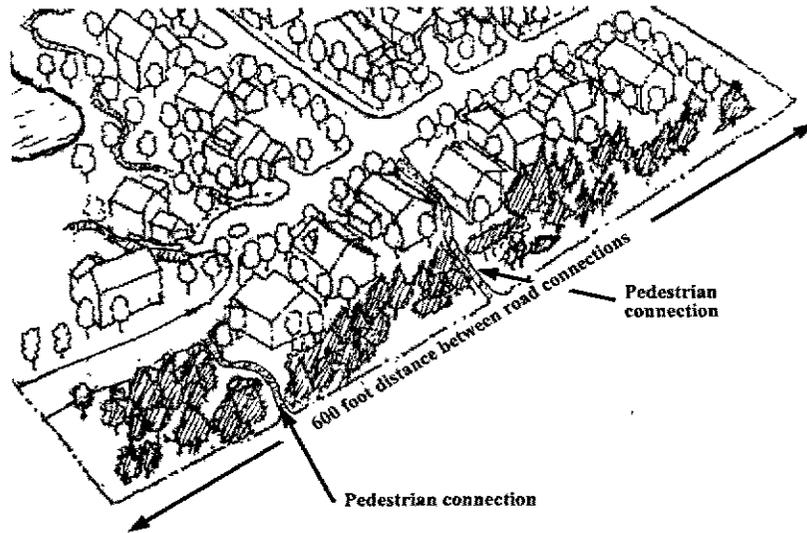
- (b) General Requirements.** General requirements for streets are found in RCDG Appendix 20D-3. New streets in the North Redmond neighborhood shall be generally aligned as shown in the transportation connections map contained in the North Redmond Neighborhood Element of the Redmond Comprehensive Plan in order to provide connectivity within the neighborhood. Minor modification in consideration of topography, existing vegetation, existing structures, or to align with other existing or planned streets in the neighborhood is permitted, provided the intent of connecting streets and developments within the neighborhood is achieved.

(c) Design Criteria

- (i) Where possible, narrow street design shall be utilized to reduce non-permeable surface area and promote traffic calming, subject to review and approval by the Technical Committee and by the Redmond Fire Department.
- (ii) The use of cul-de-sacs is discouraged. Where cul-de-sacs are utilized, pedestrian connections to open space, adjacent streets, or adjacent developments shall be provided at appropriate locations toward the end of the cul-de-sac (See Figure 10).
- (iii) When there is more than a 600' distance between road connections in a new development, pedestrian connections shall be provided at the end of cul-de-sacs or between lots to adjacent developments (where existing connections or undeveloped land exists) and/or through open space or trail linkages (See Figure 11),
- (iv) At least one ingress and one egress connection shall be provided to every adjacent trail, open space, or contiguous development(s).
- (v) Street Edge Alternative (SEA) street design is encouraged in the North Redmond neighborhood to preserve the semi-rural character of the neighborhood and reduce stormwater requirements.
- (vi) Street trees shall be provided on all new streets in the North Redmond neighborhood and shall be selected from species that, at maturity, will provide a tree canopy along the street. Selected trees shall be selected from Street Trees identified in RCDG Appendix 20D-1.
- (vii) The designation and construction of new private streets is discouraged in the North Redmond neighborhood.



**Figure 10: Pedestrian connections at cul-de-sacs**



**Figure 11: Pedestrian connections provided between 600' distanced road connections**

– per North Redmond Neighborhood Plan

**20C.30.52-020 Applicability.**

Cottage housing developments are allowed in all areas of the City designated Low-Moderate Density Residential, in the Willows/Rose Hill Neighborhood, Grass Lawn Neighborhood, and North Redmond Neighborhood, and other areas when permitted through a neighborhood plan. See RCDG 20C.30.52-060, Supplemental Neighborhood Requirements: Willows/Rose Hill, for cottage development standards specific to the Willows/Rose Hill neighborhood (Ord. 2249; Ord. 2126), and RCDG 20C.30.52-065, Supplemental Neighborhood Requirements: North Redmond, for cottage development standards specific to the North Remond neighborhood (Ord. #####).

**20C.30.52-065 Supplemental Neighborhood Requirements: North Redmond.**

(1) Applicability. Cottage housing developments are allowed in residential areas designated Single Family Constrained and Single Family Urban in the North Redmond Neighborhood, except properties zoned R-8. Developments of less than four cottages are also allowed in the North Redmond Neighborhood. All developments of cottage housing in this neighborhood shall conform to the requirements of RCDG 20C.30.52, Cottage Housing Developments, as well as the requirements listed below under subsection (2) of this section, General Requirements. Specific requirements for cottage developments in the North Redmond Neighborhood of one, two or three cottages are provided under subsection (3) of this section, Requirements for Cottage Housing of Less Than Four Dwellings.

(2) General Requirements.

(b) Design Standards. Supplemental design standards applicable to cottages are contained in RCDG 20C.70.50-040 and 20C.70.50-050

(3) Requirements for Cottage Housing of Less Than Four Dwellings. The requirements in RCDG 20C.30.52, Cottage Housing Developments, shall also apply to the development of one, two or three cottages in the North Redmond Neighborhood with the following exceptions and conditions:

- (a) Setbacks. All setbacks shall conform to those listed under the R-6 zone in RCDG 20C.30.25-140, Site Requirements Chart and Flexibility. RCDG 20C.30.25-080(2)(f), Side/Interior Setbacks, shall apply. Refer to RCDG 20C.30.52-040(1)(b), Cottage Housing Developments Site Requirements Chart, for specific requirements concerning encroachments.
- (b) Cottage Floor Area. RCDG 20C.30.52-040(2)(b)(iv), concerning mix of building footprints, shall not apply.
- (c) Required Minimum Open Space. Open Space requirements shall conform to RCDG 20C.30.25-120, Minimum Open Space – Landscaping – Buffers, according to the underlying zoning in which the cottage is located. Additionally:
  - (i) If the development consists of three cottages, the dwellings should be clustered around a common open space consistent with RCDG 20C.30.52-040(3).
  - (ii) Cottages shall have a roofed porch at least 80 square feet in size with a minimum dimension of eight feet on any side.
- (d) Parking Location and Screening. RCDG 20C.30.52-040(4)(b)(v) concerning parking location shall not apply.
- (e) Neighborhood Meeting. The requirement for a neighborhood meeting as described in 20C.30.52-050 shall be waived; however, communication with neighbors concerning a proposal is encouraged.

**20C.30.105-040 Decision Criteria.**

- (1) Design Criteria. The City may approve, or approve with modifications, a PRD or MPRD if the proposal meets the requirements of this chapter and the design of the proposed development achieves two or more of the following results:
  - (a) High-quality architectural design, placement, relationship or orientation of structures;
  - (b) Achieving allowable densities for the subject property;
  - (c) Providing housing types that effectively serve the affordable housing needs of the community;
  - (d) Improving circulation patterns or the screening of parking facilities;
  - (e) Minimizing the use of impervious surfacing materials;
  - (f) Increasing open space or recreational facilities on-site;
  - (g) Landscaping, buffering, or screening in or around the proposed PRD or MPRD;
  - (h) Providing public facilities;
  - (i) Preserving, enhancing or rehabilitating natural features of the subject property such as significant woodlands, wildlife habitats or streams;
  - (j) Incorporating energy-efficient site design or building features;
  - (k) Providing for an efficient use of infrastructure;
  - (l) Incorporating a historic structure(s) or a historic landmark in such a manner as preserves its historic integrity and encourages adaptive reuse.
- (2) Public Facilities. The PRD or MPRD shall be served by adequate public facilities including streets, bicycle and pedestrian facilities, fire protection, water, stormwater control, sanitary sewer, and parks and recreation facilities.
- (3) Perimeter Design. The perimeter of the PRD or MPRD shall be appropriate in design, character and appearance with the existing or intended character of development adjacent to the subject property and with the physical characteristics of the subject property.
- (4) Open Space and Recreation. Open space and recreation facilities shall be provided and effectively integrated into the overall development of a PRD or MPRD and surrounding uses.
- (5) Streets and Sidewalks. Existing and proposed streets and sidewalks within a PRD or MPRD shall be suitable and adequate to carry anticipated traffic within the proposed project and in the vicinity of the subject property.
- (6) Supplemental Requirements for the Willows/Rose Hill Neighborhood. The design of PRDs in the Willows/Rose Hill Neighborhood should achieve two or more of the following decision criteria in a manner that exceeds neighborhood regulations:
  - (a) Housing types that effectively serve the affordable housing needs of the community;
  - (b) Minimize the use of impervious surface materials;
  - (c) Increase open space or recreational facilities on-site;
  - (d) Landscaping, buffering, or screening in or around the PRD or MPRD;
  - (e) Preserving, enhancing or rehabilitating natural features of the property such as significant woodlands, wildlife habitats or streams; and
  - (f) Providing for an efficient use of infrastructure. (Ord. 2164; Ord. 2126; Ord. 1901)

PRD/MPRD Regulations

– per North Redmond Neighborhood Plan

- (7) Supplemental Requirements for the North Redmond Neighborhood. The design of PRDs in the North Redmond Neighborhood shall include the following:
- (a) Maintain a minimum building separation of 15' except for small structures including cottages, size limited dwellings, accessory dwelling units and accessory structures. Minimum building separation for size limited dwellings, accessory dwelling units, and locations where these structures or cottages adjoin larger dwelling units shall be 10 feet.
  - (b) Low Impact Development techniques where applicable to the specific site. Techniques are defined in the Low Impact Development Technical Guidance Manual for Puget Sound, by the Puget Sound Action Team.
  - (c) Use a minimum of 6 inches of compost in all planting areas, along with the compost-amended soils to establish the required depth. A copy of the purchase receipt for the compost –amended soils shall be submitted to the City for confirmation.
  - (d) Maintain a minimum of 50% of on-site native soils and a minimum of 50% of the on-site native vegetation as defined in the Redmond Community Development Guide. Native vegetation and soil conservation areas shall be established and prioritized as follows:
    - (1) Large tracts of riparian areas that connect and create contiguous riparian protection areas.
    - (2) Large tracts of critical and wildlife habitat area that connect and create contiguous protection areas.
    - (3) Tracts that create common open space areas among and/or within developed sites.
    - (4) Protection areas on individual lots that connect to areas on adjacent lots or common protection areas.
    - (5) Protection areas on individual lots.

## Affordable Regulations

– per the North Redmond Neighborhood Plan

### 20D.30.10 Affordable Housing.

#### 20D.30.10-010 Purpose.

The purpose of this section is to:

- (1) Implement through regulations the responsibility of the City under State law to provide for housing opportunities for all economic segments of the community.
- (2) Help address the shortage of housing in the City for persons of low and moderate income, helping to provide opportunities for low- and moderate-income persons who work in the City to live here, rather than in locations distant from employment that contribute to increased length and number of vehicle trips.
- (3) Help assure an adequate affordable housing supply in the City by offsetting the pressure on housing costs resulting from high job growth and construction of high-end housing.
- (4) Preserve land for affordable housing as the City continues to grow.
- (5) Promote development of housing that would not otherwise be built in the City. (Ord. 2249; Ord. 2126; Ord. 1756. Formerly 20C.20.016)

#### 20D.30.10-020 General.

This section applies to: (1) all new senior housing developments and congregate care senior dwelling units, not including nursing homes; (2) all new dwelling units within the City Center Neighborhood, and (3) all new single-family attached and detached dwelling units within the Willows/Rose Hill Neighborhood, within the Grass Lawn Neighborhood, and within the North Redmond Neighborhood. In areas where density limitation is expressed as a floor area ratio (FAR), density bonuses will be calculated as an equivalent FAR bonus.

- (1) Affordable Housing. At least 10 percent of the units in new housing developments of 10 units or greater must be affordable units. At least one bonus market rate unit is permitted for each affordable unit provided, up to 15 percent above the maximum allowed density permitted on the site. For example, if the maximum allowed density for the site is 20 units per acre, the density bonus shall not exceed three units per acre, yielding a total allowed density, with bonus, of 23 units per acre, or, 20 units x 15 percent = 23 units. The bonuses granted under this provision are in addition to any bonuses granted for senior housing under RCDG 20D.30.15, Affordable Senior Housing Bonus.
- (2) Affordable Housing – Low Cost Units. Each low cost affordable unit provided counts as two affordable units for the purpose of satisfying the affordable unit requirement under subsection (1) of this section. For purposes of computing bonus market rate units under subsection (1) of this section, two bonus market rate units are permitted for each low cost affordable unit provided, up to 20 percent above the maximum density permitted on the site.
- (3) Affordable Housing Calculation. The number of required affordable housing units is determined by rounding fractional numbers up to the nearest whole number from 0.5. The project proponent may propose to provide alternative payments for fractional portions of units, as provided for in RCDG 20D.30.10-030(2)(b).
- (4) Housing Construction Timing. Affordable home construction shall be concurrent with construction of market rate dwelling units unless the requirements of this section are met through RCDG 20D.30.10-030, Alternative Compliance Methods.
- (5) Duration. An agreement in a form approved by the City must be recorded with the King County Department of Records and Elections to stipulate conditions under which required affordable housing units will remain as affordable housing for the life of the development. This

## Affordable Regulations

– per the North Redmond Neighborhood Plan

agreement shall be a covenant running with the land, binding on the assigns, heirs, and successors of the applicant. Prior to the issuance of any building permit, the owner shall sign any necessary agreements with the City to implement these requirements. The City may agree, at its sole discretion, to subordinate any affordable housing regulatory agreement for the purpose of enabling the owner to obtain financing for development of the property, consistent with any applicable provision of the Community Development Guide in effect at the time of the issuance of the development permit(s).

- (6) City Center Neighborhood. The definitions of and requirements for affordable housing for projects in the City Center neighborhood shall be as provided in the following table. This subsection shall apply to those projects which meet the affordability requirements on-site or off-site, but within the boundaries of the City Center neighborhood, but shall not apply to those projects which elect to use an alternate payment method as authorized in RCDG 20D.30.10-030(2)(b).

The affordable housing requirements for projects vested on or after the effective date of the ordinance codified in this section must be targeted for households whose incomes do not exceed the following:

Number of Total Units	Median Income Level
First 250 units	Inclusionary requirements optional
Second 250 units	90 percent of median income
All subsequent units	80 percent of median income

Number of Total Units shall mean the total number of housing units (affordable and otherwise) permitted to be constructed within the City Center neighborhood and to which this subsection shall apply. In establishing an affordable rent or sales price, Median Income Level shall be adjusted for household size, as determined by the United States Department of Housing and Urban Development for the Seattle MSA, and shall assure that no more than 30 percent of household income is used for housing expenses.

- (7) Supplemental Requirements: Willows/Rose Hill Neighborhood.

- (a) Calculation of Affordable Housing Requirement. The required number of affordable housing units shall be calculated as a minimum of 10 percent of the greater of: (i) proposed dwelling units on the site, excluding cottage housing density bonus or other bonuses, or (ii) net buildable area multiplied by the site's allowed or "zoned" density.
- (b) Development of a Size-Limited Dwelling as Defined by RCDG 20A.20.190. A duplex unit, or cottage as defined by RCDG 20A.20.030 may be used to meet affordability requirements as prescribed in this section.
- (c) Demonstration Project. As provided for in N-WR-E-7, the allowed density shall be seven units per acre for a demonstration project in which at least 20 percent of the total dwelling units are affordable as defined by RCDG 20A.20.010. Other bonuses allowed by the RCDG may be used in addition to this bonus.
- (d) Design Standards. Affordable dwelling units shall meet neighborhood design standards contained in RCDG 20C.70.50-040 and 20C.70.50-050 and be compatible with the exterior appearance of nearby market-rate dwellings.
- (e) Alternative Compliance Methods. In addition to meeting the provisions in RCDG 20D.30.10-030, a project proponent who proposes off-site location of affordable housing units shall locate the dwellings within the Willows/Rose Hill Neighborhood unless there is no feasible site. If no site in the neighborhood is feasible, the preferred alternative compliance method is construction of affordable housing elsewhere in the City (method 2b). (Ord. 2249)

Affordable Regulations

– per the North Redmond Neighborhood Plan

(8) Supplemental Requirements: North Redmond Neighborhood.

- (a) Development of a Size-Limited Dwelling as Defined by RCDG 20A.20.190. A duplex unit, or cottage as defined by RCDG 20A.20.030 may be used to meet affordability requirements as prescribed in this section and may be provided for ownership.
- (b) Design Standards. Affordable dwelling units shall meet neighborhood design standards contained in RCDG 20C.70.30-040, 20C.70.30-050, and 20C.70.50-060 and be compatible with the exterior appearance of nearby market-rate dwellings.