

Memorandum

To: Planning Commission

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Date: June 26, 2015

Subject: **Comprehensive Plan and Zoning Code Amendments for the Old Town Historic Core Overlay and for Gilman Street**

MEETING PURPOSE

On July 8, 2015 the Planning Commission will begin discussion on the Technical Committee's recommended package of Comprehensive Plan and Zoning Code amendments for the Old Town Historic Core Overlay and Gilman Street. The Planning Commission's review of the package of proposed amendments is scheduled to extend through August 19, 2015. More information regarding the schedule for specific topics of discussion is included below.

INTRODUCTION/BACKGROUND

Planning staff began the Old Town Historic Core planning process in January 2014. The purpose is to develop a plan for the historic central core of the City's first business district with the significant participation of property and business owners and community stakeholders. The Historic Core Plan will be an overarching plan that defines the Core and provides context for a number of deliverables, including proposed updates to the Comprehensive Plan and Zoning Code for the Historic Core as the first deliverables.

At the July 24, 2015 meeting, the Planning Commission confirmed the schedule and sequence for discussion topics. The Commission also discussed the approach for review of the proposed amendments and determined that staff will summarize the proposed amendments by topic area and will include images of appropriate and inappropriate ways of implementing the proposed design standards. In addition, Commissioners requested a list of evaluation criteria they have previously identified to assist in the discussion of how the proposed standards address these items, such as how the amendments integrate with other areas in Downtown, and potential economic impacts (see Attachment B). The suggested framework will encourage visual review and discussion of the amendments with the proposed code revisions for reference. Staff will also include as part of weekly memos summary information, such as how the proposed updates fit with the evaluation criteria.

PREPARATION FOR JULY 8 STUDY SESSION

The amendment topics for initial Planning Commission discussion at the July 8, 2015 study session include:

- Comprehensive Plan updates (Exhibit A)
- Tripartite architecture (building base, middle and cap) (Exhibit B – New Section – Old Town Historic Core Overlay)
- Building materials (Exhibit B – New Section – Old Town Historic Core Overlay)
- Proposed changes to the Pedestrian System Map (Exhibit B)

Please review the enclosed Technical Committee Report and exhibits in advance of the July 8, 2015 meeting and identify questions and discussion issues by Sunday, July 5 and email them to Kim Dietz at kdietz@redmond.gov. If there is not sufficient time to review all of the report and exhibits, please review the topics listed above for the July 8 study session.

All of the exhibits to the Technical Committee report show the proposed amendments in track changes with the exception of the design standards identified in italics as a *New Section* under Exhibit B (see below). While the proposed design standards for the Old Town Historic Core Overlay incorporate existing standards and concepts and will function as an overlay to existing code, they also include new proposed standards and will be located in a new section of the Redmond Zoning Code.

REVIEW SCHEDULE

A public hearing is scheduled for July 15 and will be continued for oral testimony until August 5, 2015. Written testimony on the proposed amendments will be accepted until August 12, 2015.

Topics for scheduled for Planning Commission review and discussion are as follows:

- **July 15** – Pedestrian System Map amendments and other streetscape elements
- **July 22** – building entries and corners, windows, signs, and other elements
- **August 5, 12 and 19** – building mass, height and setbacks and on August 19, complete recommendation
- **August 26** – Planning Commission report approval

Council review and action would follow during the fourth quarter of 2015.

Please contact Kim Dietz or Sarah Stiteler regarding proposed amendments to design standards, or Patrick McGrath regarding Gilman Street prior to the meeting if there are questions or concerns.

ENCLOSURES

Attachment A: Technical Committee Report with exhibits:

Exhibit A: Proposed Comprehensive Plan Amendments

Amendment to Goals, Vision, and Framework Element

Amendment to Community Character and Historic Preservation Element

Amendment to Urban Centers Element – Downtown Section

Amendment to Glossary

Exhibit B: Proposed Zoning Code Amendments

Amendment to 21.78 Definitions

Amendment to 21.10.030 Old Town (OT) Zone

Amendment to 21.10.150 Pedestrian System (Map)

Amendment to 21.62.020 Downtown Design Standards

New Section 21.62.020.M Old Town Historic Core Overlay

Amendment to 21.44.020 Signs

Exhibit C: Proposed Zoning Map Amendments

Amendment to Old Town Zone

Attachment B: Planning Commission Evaluation Criteria for Review of Proposed Historic Core Overlay Amendments

Attachment B: Planning Commission Evaluation Criteria for Review of Historic Core Overlay – Proposed Amendments

1) How does the proposal address the 10 Design Standards Principles identified by Makers? The following groupings of the principles correspond to the analysis in the Technical Committee Report:

Scale and Character

- Ensure new buildings are of a character and scale that is appropriate to the site and are of a form and size that reflect the human scale.
- Encourage building variety while providing for designs that reflect the context of the site and that include some unifying elements of consistency within specific districts.

Streetscapes and Block Fronts

- Activate the urban pedestrian environments by encouraging pedestrian friendly streetscapes and block fronts and by incorporating landscaping.

Building Heights, Roof Forms and Public Spaces

- Encourage buildings with a variety of heights and interesting roof forms.
- Encourage more public spaces (plazas or green spaces) in conjunction with new buildings.

Quality, Legacy, and Timeless Architecture and Design

- Ensure that new buildings enhance rather than detract from nearby or adjacent historic structures.
- Encourage the use of high quality urban materials and integrated design details between floors one through three for new construction.
- Encourage the use of distinctive design, rich northwest color palates, and long lasting materials.
- Promote sustainable, innovative development projects that will provide long-term community benefits and have a high environmental and visual quality.
- Ensure that individual building elements and details are visually consistent with a building's overall architectural style.

2) How do the proposed design standards integrate with the Historic Core character?

3) What are the anticipated economic impacts of the proposed design standards? Do the proposed standards appropriately balance community interests and those of business and property owners?

4) How do the proposed standards encourage mobility in the Historic Core and the rest of Downtown?

5) What are the implications of the proposed amendments on parking opportunities?

6) How do the Historic Core and the proposed standards relate to the rest of the Downtown?



TECHNICAL COMMITTEE REPORT

To: Planning Commission

From: Technical Committee

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Date: June 26, 2015

File Numbers: PR-2015-00795 and SEPA-2015-00993

Project Name: Comprehensive Plan and Zoning Code Amendments for the Old Town Historic Core Overlay and for Gilman Street

Reasons the Proposal should be Adopted: The Technical Committee recommends approving the amendments to the Redmond Comprehensive Plan and Zoning Code because the proposal:

- Is consistent with the Redmond Comprehensive Plan, because it will support the planned land use pattern, transportation needs, and economic vitality for the Downtown;
- Supports implementing the community's vision for the Downtown urban center;
- Maintains consistency between Comprehensive Plan policy

and implementation of the Zoning Code through design standards; and

- Supports the character of the core of the Old Town zone as a unique place that celebrates Redmond's history.

I. APPLICANT PROPOSAL

A. APPLICANT

City of Redmond

B. BACKGROUND AND REASON FOR PROPOSAL

Planning staff began the Old Town Historic Core planning process in January 2014 (see Exhibit C for area). The purpose is to develop a plan for the historic central core of the City's first business district with the significant participation of property and business owners and community stakeholders.

The scope and approach for the Historic Core Plan is based on feedback from the October 2013 joint City Council and Landmark Commission meeting and interests expressed by property and business owners. The City Council's direction for the Plan components included the following:

- Integrate the vision, design standards and character of Old Town Historic Core with the Redmond Central Connector.
- Provide early and ongoing outreach with property and business owners to create awareness and to learn about opportunities and challenges. Help the business owners identify collective and mutual interests.
- Consider incentives in Historic Core such as the Transfer of Development Rights (TDR) program, working with property owners to maintain and enhance existing structures, and providing information to property and business owners regarding other incentive programs such as National Historic Landmark.
- Take into account the current brick character and one- to two-story building heights.
- Plan for wayfinding and placemaking signage to create great spaces in which to shop and dine.
- Include interpretive elements that highlight historic buildings including those that have been demolished.
- Promote opportunities for community celebration and increasing awareness include interpretive elements for interior spaces such as in community gathering establishments.
- Create a range of options that support business and property owners' needs. Make certain updates to standards are easily implemented and not onerous.

The Historic Core Plan will include the deliverables below. Preparation of these will be phased, with proposed updates to the Comprehensive Plan and Zoning Code as the first deliverables or Phase I.

- Amendments to the Comprehensive Plan – recognizing the Historic Core and updating associated policies
 - Goals, Vision, and Framework Policies;
 - Community Character and Historic Preservation; and
 - Urban Centers – Downtown Neighborhood Policies;
- Amendments to Redmond Zoning Code, particularly:
 - Updates to design standards for development in the Historic Core; and
 - Updates to the Downtown Pedestrian System map

Phase II will consist of the following and will be addressed through subsequent amendments during 2016.

- Amendments to wayfinding and place making standards;
- Historic Core Brand, Marketing, and Event Plan;
- Coordination with, supplements to, and amendments to related plans such as the Strategic Art Plan and Pedestrian/Bicycle Plan; and
- Developer, investor, and proprietor guides regarding property, programs, and grant opportunities specific to the Historic Core.

II. RECOMMENDATION

The Technical Committee recommends approval of the proposed amendments to the Redmond Comprehensive Plan and Zoning Code. The recommended updates are contained in Exhibits A, B and C.

III. PRIMARY ISSUES CONSIDERED AND ALTERNATIVES

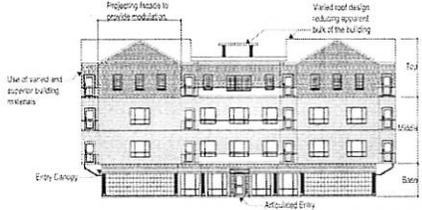
The primary issues considered for this package include the following and reflect the Planning Commission’s direction from April 15, 2015 regarding policy level questions and implications that the Commission would like to consider during review of proposed amendments:

- Consistency with Comprehensive Plan policies regarding the Downtown vision and associated design standards,
- Consistency with the City Council’s approved design standard principles,
- Recognition and awareness of the Old Town Historic Core,
- Economic impacts,
- Quality and timeless architecture and design,
- Mobility choices and parking opportunities, and
- The relationship between the Old Town Historic Core and the rest of the Downtown.

Additionally, this summary of the proposed amendments to RZC 21.62.020 Downtown Design Standards, RZC 21.10.150 Downtown Pedestrian System Section and the Zoning

Map briefly describes the relationship between current code standards and the proposed additional and new code standards:

Downtown and Old Town Design Standards (RZC 21.62.020)	Summary of Current Code	Summary of Proposed Additions, Clarifications, or New Sections
C. Downtown - Development Along Downtown Shorelines and Park	Development designed to enhance natural features and open space; connect with landscaping, plazas, and pedestrian features; and incorporate high-quality building materials and architectural detailing on all sides of building.	Propose amendment to include orientation and design in the context of Downtown park and other parks as part of the scope of this section, specific to the Old Town Historic Core Overlay.
D. Downtown - Corner Lots – Building Design	Development designed to encourage pedestrian activity and street-level experience and to enhance Downtown “main street” character.	Propose to maintain similar emphasis and provide more specific design criteria.
E. Downtown - Open Space	Addresses usable open space for development including residential uses.	No changes proposed to this section.
F. Downtown - Residential Standards	Development provides privacy standards, public corridors, courtyards, access, modulation, building materials, parking, and landscaping	No changes proposed to privacy standards, parking, and landscaping. Proposed amendments to building material and modulation.
L.2. Old Town Zone - Site Design	Development setbacks to reflect historic patterns, fronting on back of sidewalks. Parking screened and structured, avoiding visibility from sidewalk edge.	No changes proposed to this section. Proposed changes to related section: Pedestrian System (see below)
L.3. Old Town Zone – Building Design	Development ensures maintaining character of the Downtown core and the prominence of historic landmarks by addressing building orientation, scale, design, details and building material	Propose additional and more specific standards for implementation including tripartite architecture, mass, height, stepbacks, transparency, and building material
L.4. Old Town Zone – Pedestrian/ Customer Elements	Development helps characterize the pedestrian shopping and gathering environment through streetscape design and amenities	Propose similar emphasis on character and new standards for a sequential pedestrian experience.

Downtown and Old Town Design Standards (RZC 21.62.020)	Summary of Current Code	Summary of Proposed Additions, Clarifications, or New Sections
L.5. Old Town Zone – Tripartite Architecture and Design	Tripartite Articulation addressed generally in the design standards for Downtown to provide pedestrian scale and architectural interest and with illustration: 	Propose adding standards specific to the Old Town Historic Core overlay regarding the tripartite form of architecture and design, including definition at the building base, middle, and cap.
RZC 21.10.150 Downtown Pedestrian System and Map	The Downtown Pedestrian System Section and Map shows various components of the pedestrian system that will be required when property is developed.	Propose to revise this section to reduce the sidewalk width along Leary Way from 14 to 12 feet, add a non-motorized connection to the map, and refine the cross-section for Gilman Street
Zoning Map	Old Town Zone is one of 12 zones in the Downtown	Proposal to identify the core of the Old Town Zone as an overlay within which specific design standards apply

The Supporting Analysis section below describes the issues particular to this amendment and alternatives considered for resolving them.

IV. SUPPORTING ANALYSIS

A. ISSUES CONSIDERED, PROPOSAL, ANALYSIS, AND ALTERNATIVES

1. Comprehensive Plan Policies and Zoning Code Design Standards

Existing conditions. Comprehensive Plan policies provide direction for the creation and maintenance of design standards that address development throughout the City. Particularly, the following apply to development in the Downtown urban center:

- CC-18: Use Design Standards and design review to accomplish the following:
 - Ensure the elements of design, proportion, rhythm and massing are correct for proposed structures and the site;
 - Retain and create places and structures in the city that have unique features;
 - Ensure that building scale and orientation are appropriate to the site;

- Encourage the use of high-quality and durable materials, as well as innovative building techniques and designs;
- Promote environmentally friendly design and building techniques such as LEED for the construction or rehabilitation of structures;
- Minimize negative impacts, such as glare or unsightly views of parking;
- Incorporate historic features whenever possible;
- Maintain integrity of zones such as Old Town with unique or historic qualities; and
- Ensure that the design fits with the context of the site, reflecting the historic and natural features and character.
- CC-45: Ensure the compatibility of development adjacent to Landmark properties through measures such as design standards.
- DT-13: Identify historic resources that are defining features of Redmond’s Downtown and use the following techniques to preserve the historic character:
 - Encourage landmark nomination,
 - Encourage restoration and maintenance,
 - Incorporate historic building facades or elements of the existing historic buildings into new development,
 - Encourage signage or other informational markings at historic sites or structures,
 - Ensure that design of new developments adjacent to Historic Landmarks respect the historic character of those buildings and encourage design sympathetic to historic character where adjacent historic buildings are likely to qualify for landmarks, and
 - Celebrate the history of Redmond through creative and meaningful presentations of historical objects and integrated historical features and art as part of public places and developments.
- DT-25: Ensure that development and redevelopment in Old Town retain this area’s historic village character and complement the character and scale of existing historic buildings. Maintain height limits appropriate to this character and the pedestrian environment.
- DT-28 Maintain and enhance the traditional Downtown “main street” character, which includes continuous pedestrian-oriented storefronts and pedestrian-scaled streetscapes, through specific attention to architectural detail, components of the streetscape, and the relationships between them.

The existing Design Standards portion of the Zoning Code, particularly for the Downtown, is inconsistent in the use of the intent and design criteria sections, with standards sometimes located in the intent and other times located in the design criteria. This is an issue because the purpose of the intent section is to describe “what” the code is intended to accomplish and the design criteria to describe “how”. Because of the inconsistent approach, implementation of the code has tended to rely more on the intent sections and less on the design criteria section. Also, in many portions of the Old Town design standards, critical design criteria are vague or contain language such as “should”. It is difficult to implement the

code in this form. The outcome is less predictability, an aspect that developers have cited as a recommended code improvement, as well as sometimes less than desirable results, for which staff has received feedback from community members.

Proposal. The staff proposed policy and Zoning Code amendments reflect the direction set by Comprehensive Plan policy as described above as well as the City Council's direction and stakeholder perspectives including business and property owners within the proposed overlay. In addition, staff incorporated suggestions from a workshop with local architects, designers, and developers; the Makers consulting firm; and the Design Review Board to address specific architectural and design elements identified as primary elements to facilitate the policy direction. The following describes these primary elements that would contribute to a buildings overall character, function and role, and relationship to its surroundings:

- Building Form – addresses the envelope to which a structure is designed and built and provides opportunity for connecting development to its site, street, and neighborhood
 - Massing, height, stepback, articulation, modulation
 - Historic building patterns - horizontal and vertical facades
- Tripartite Architecture – fosters visual interest, opportunities for pedestrian engagement and opportunities to reflect the character of buildings in the Old Town Historic Core Overlay. Tripartite architecture creates a unified whole while at the same time organizing the building façade into three parts:
 - Building Base design treatments to emphasize the building in relation to the ground and to engage pedestrians – to anchor the building
 - Building middle design treatments to provide architectural and design distinction, emphasize a design rhythm and soften the mass
 - Building Cap design treatments to provide visible articulation and aesthetically complete the building
- Building Design
 - Building material
 - Pedestrian experience, context, setting
 - Quality, legacy, timelessness
 - Signs

Alternatives and Analysis. To gain preliminary insights on important architectural and design elements for this portion of the Downtown and potential implementation approaches, staff held an Architectural and Design Workshop (February 2015) with members of the design and development community. Participants assisted with developing a draft list of primary design elements and sketched basic renderings to illustrate complementary and sympathetic designs for new development.

Staff also compared Redmond's design standards relevant to the proposed overlay with those implemented by many North American cities including those reflected in the Makers report "*Redmond Design Standards Evaluation & Comparative Cities Research*", February 2015:

- South Lake Union and Pioneer Square, Seattle, WA
- Kirkland, WA
- Bellingham, WA
- Tacoma, WA
- Bainbridge, WA
- Port Townsend, WA
- Walla Walla, WA
- Boise, ID
- Portland, OR
- Ashland, OR
- Emeryville, CA
- Redwood City, CA
- Los Angeles, CA
- Park City, UT
- Boulder, CO
- Austin, TX
- Houston, TX
- San Antonio, TX
- New York, NY
- Cambridge, MA

Staff also researched streetscapes and projects in cities receiving the following:

- Great American Main Street Award such as Bath, Maine and Paducah, Kentucky
- Richard H. Driehaus National Preservation Award such as Pittsburgh, Pennsylvania and Chicago, Illinois

Alternatives and issues considered regarding design standards approach and format included opportunities for creativity and innovation through architecture, design, and other treatments; menu or point-based systems for choices; alternative approaches for narrative and visual guidance; and interactive concept review strategies with applicants. Ultimately, staff recommends the approach identified by Makers and endorsed by the City Council regarding use of intent statements and visual guidance, also reflected in the Overlake design standards which are the most recently updated standards. This approach includes: 1) intent statements that describe the objective, 2) design criteria that provide specific standards or options, 3) visual guidance regarding appropriate and inappropriate implementation of the section through illustrations and photographs, and 4) opportunities for creativity and innovation implemented through the design criteria.

City Council Principles Regarding Design Standards

2. **Ensure new buildings are of a character and scale that is appropriate to the site and are of a form and size that reflect the human scale. Encourage building variety while providing for designs that reflect the context of the site and that include some unifying elements of consistency within specific districts.**

Existing condition. The following current Zoning Code sections address the character and scale of development in the Old Town zone:

- The core of this {Old Town} zone, developed between the late 1800s to the mid-1900s, encompasses a variety of periods. The intent of site design standards within the Old Town zone is to maintain the historic patterns of land development and general character of the zone that was created during this time frame. This includes elements such as building scale, height and architectural building details that are compatible with existing structures.

- The intent of building design standards within the Old Town zone is to ensure that historic landmark buildings maintain their prominence within the zone and to ensure the character of the original Downtown core is maintained. These building design standards shall apply to all new structures as well as to additions or other remodeling whenever it is feasible and in context with the existing structure.
- New construction should be in scale with existing historic patterns. In cases where the scale of the building is larger, techniques should be used to break up the scale of the building to complement existing patterns. These techniques can include variations in roof height, vertical columns to break up facades, changes in roof or parapet detail, use of smaller repeating window patterns, use of fascia on the facade, facade articulation, and stepping back or modulating of upper stories.
- Maximum Building Height without TDRs, 5 Stories, Building height is limited to three stories for some parcels fronting Leary Way. See RZC 21.10.110.B, Height Limit Overlay.
- Maximum Building Height with TDRs and Green Building and Green Infrastructure Incentive Program (GBP), 6 Stories
 - A. Building height is limited to three stories for some parcels fronting Leary Way. See RZC 21.10.110.B, Height Limit Overlay.



- B. One floor of additional height may be achieved with the use of Transfer Development Rights. See RZC 21.10.160, Using Transfer Development Rights (TDRs), or through compliance with RZC 21.67, Green Building and Green Infrastructure Incentive Program (GBP).
- The architectural composition, scale, elements, and details of a building should relate to the site's natural features and the character of the surrounding area. A strong architectural concept will indicate this organizational scheme, and convey the project's architectural character, or the style of the development.
- In order to provide interest and variation appropriately scaled to the building and neighborhood, facades facing streets shall be modulated approximately every 40 feet, depending on unit separation locations, building bulk, and the scale of existing and future buildings in the neighborhood.

Proposal. The staff proposed design standards for development in the proposed Historic Core Overlay emphasize character and scale that is currently included in the Old Town zone:

- The Old Town zone:
 - Is comprised of the City’s original downtown;
 - Includes a number of historic structures and gathering places, including a central park; and
 - Is established to be a center of pedestrian-oriented retail activity in the Downtown neighborhood.
- The regulations shaping development in this zone:
 - Provide for an urban village pattern and rhythm which encourages narrow ground floor storefronts, small blocks, narrow streets with curbside parking, mixed-use residential/office/service buildings, and pedestrian-scale architecture;
 - Encourage the enhancement of existing older buildings in Old Town with small ground floor retail spaces, characterized by narrow bay spacing that can help to support pedestrian activity and interest, and office or residential spaces in upper stories;
 - Emphasize the pedestrian nature of the area through lower parking requirements and plans for creation of parking lots/structures in a few central locations at the edge of these areas; and
 - Provide for a full range of retail uses such as specialty and comparison shopping, eating and entertainment establishments, as well as general and professional services, and residential uses.

The staff proposed updates to the standards are also generally more specific to support predictability and implementation of the vision for this central and unique portion of the Downtown, such as unifying elements for consistency and context within this portion of the Old Town zone. Other Downtown design standards, based on the zone, will continue to facilitate the relationship with adjacent properties and zones.

Alternatives and Analysis. The proposed amendments recognize the attractiveness of the Downtown for development and the opportunity for creativity and innovation that applicants desire. Staff consulted with several cross-departmental staff teams, Makers, and the Design Review Board to explore alternatives and ensure that the proposed amendments help balance among various perspectives and interests such as development potential, Downtown character, pedestrian interest, and accessibility. A summary of these perspectives is included in Exhibit F.

3. **Activate the urban pedestrian environments by encouraging pedestrian friendly streetscapes and block fronts and by incorporating landscaping.**

Existing condition. The following current policies address streetscapes and block fronts in the Old Town zone:

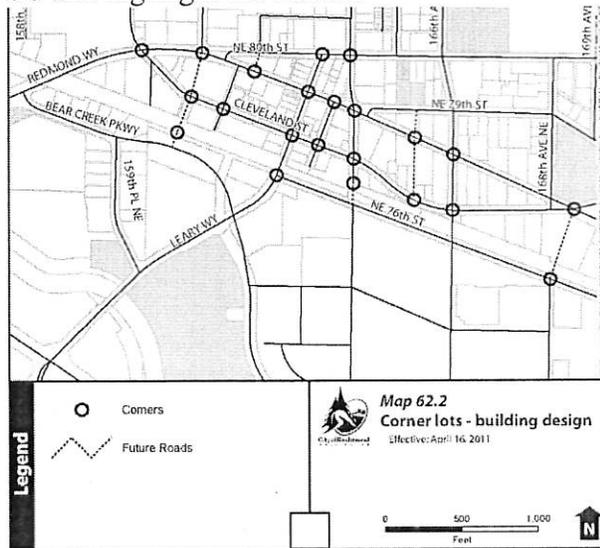
- DT-3 Enhance the Downtown Neighborhood by creating visually distinctive, pedestrian-oriented zones:

- Old Town and Town Center: A pedestrian-oriented retail, entertainment, and residential core that provides opportunities for comparison shopping for a wide variety of goods and services and creates an active focus for the Downtown and city.
- DT-16 Foster the growth and addition of visual and performing arts experiences and opportunities Downtown by:
 - Encouraging development of an arts center that supports performing and visual arts and educational programs;
 - Encouraging inclusion of public art features with all private and public development;
 - Supporting programs that locate public art features in key locations, as well as integrated art designs; and
 - Activating public spaces with special events and performances.
- DT-17 Identify and create Downtown gateways that are integrated with the transportation system, including bicycle and pedestrian connections, using artwork, signage, landscape features and structures. Work with private property owners to help create gateway design features.
- DT-22 Establish standards for Downtown streetscape treatments to reinforce the identity of Downtown zones and promote the Downtown’s aesthetic appeal. Consider use of treatments, such as special paving materials for sidewalks, street furniture, landscaping and lighting. Ensure that these treatments are implemented as part of public and private development.
- DT-28 Maintain and enhance the traditional Downtown “main street” character, which includes continuous pedestrian-oriented storefronts and pedestrian-scaled streetscapes, through specific attention to architectural detail, components of the streetscape, and the relationships between them.
- DT-29 Enhance Old Town’s pedestrian activity, safety and historic character by:
 - Avoiding four-lane arterials through Old Town and developing vehicle routes that reduce the negative effects of through traffic,
 - Developing and implementing traffic calming designs that maintain and enhance this zone as a pedestrian-friendly place,
 - Encouraging structured parking within or adjacent to Old Town and requiring that structured parking within the zone be designed to either blend with the historic character or be hidden, and
 - Discouraging on-site parking next to the sidewalk edge.

The following Zoning Code provisions also address streetscapes and block fronts in the Old Town zone:

- The Old Town zone characterizes a pedestrian shopping and gathering environment, with comfortable and attractive sidewalks, plazas, informal seating areas, and pedestrian amenities that are consistent with the historic character of the zone.
- Buildings on corner lots should reinforce and celebrate the street corner by providing pedestrian entrances that orient toward the corner and by

incorporating architectural detailing, cornice work, or frieze design that orient toward and highlight the corner.



- In order to provide interest and variation appropriately scaled to the building and neighborhood, facades facing streets shall be modulated approximately every 40 feet, depending on unit separation locations, building bulk, and the scale of existing and future buildings in the neighborhood.
- Building entrances shall front towards the sidewalk. Recessed entrances are encouraged for storefronts. Porches, courtyard entrances, or stoops are encouraged for ground floor residential units where allowed.
- Trees, Plants, and Flowers. The use of potted plants and flowers as well as street trees is encouraged, and shall not impede pedestrian traffic.
- Street Lighting. The height and design of street lighting should relate in scale to the historic character of the area. The design of the light standards and luminaires should enhance a historic theme.
- Street Furniture. Public seating, trash receptacles, and informational/directional kiosks should be of uniform design and be provided throughout Old Town. Creation of informal gathering places that are integrated appropriately with the streetscape is encouraged.

Proposal. While the existing Zoning Code includes some standards that support pedestrian friendly streetscapes, staff recommends updating the standards to more directly reflect elements that contribute to people’s enjoyment of urban places and their experiences as customers.

The staff proposed amendments would add design standards regarding “Sequential Pedestrian Experience”, which involves three intervals at which the building base and streetscape are designed to engage pedestrians’ interest. The intervals are

based on research by Jan Gehl¹, are similar to that found in shopping malls, based on the average person's walking pace, and suggest the following:

- At 4-second walking intervals, a minor point of engagement;
- At 30-second walking intervals, a moderate point of engagement; and
- At a points of entry, termination, and corners, a significant point of engagement.

The proposed amendments would establish intervals for design treatments at 15 to 30, 100 to 150, and at 200 feet or at building corners. The minor and moderate intervals reflect contemporary experiences from shopping centers as well as the existing historic lot pattern which averages at 40 feet in width across the primary frontage and approximately 120 feet in width across the secondary or side frontage. The proposed code includes a variety of options for how development applicants can implement design treatments to support the Sequential Pedestrian Experience to facilitate creativity and innovation in design approaches along the building base by varying:

- Material,
- Modulation,
- Façade penetrations such as windows and doors,
- Architectural and design treatments such as distinctive columns and pilaster, and
- Artistic elements.

In addition to a high amount of window and door transparency to enable pedestrians to visually connect with the interior ground floor commercial uses, the proposed amendments call for the building base to include design, details, and elements that capture the pedestrian's attention and:

- Are unique,
- Reflect the overall character of the structure,
- Are respectful of the historic district, and
- Provide opportunity for enhancing the vegetated aspect of the district.

Alternatives and Analysis. Staff considered prescribed intervals and frequency for the Sequential Pedestrian Experience accompanied by a typology of elements based on the interval type. For example, the minor interval, at 40 feet, would be implemented through material, color, and façade modulation. The moderate interval, at 120 feet, would be achieved through façade penetrations and distinctive columns and pilasters.

However, based on consultation with the Design Review Board, the staff proposed amendment provides a flexible combination of specificity and variation. The sequential intervals offer a range as a technique for avoiding strict repetition along

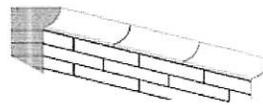
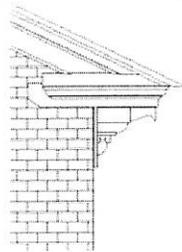
¹ Gehl, of Gehl Architects and former Professor at The Royal Danish Academy of Fine Arts, School of Architecture, has completed project and authored books regarding the public realm within cities and the elements that contribute to people's enjoyment of urban places .

the street front: 15 to 30 feet, 100 to 150 feet, and 200 feet or street corners. Additionally, the standards include a single list for achieving the recommended base treatments, providing the architect or designer opportunity for creativity, individualization, and innovation.

4. Encourage buildings with a variety of heights and interesting roof forms. Encourage more public spaces (plazas or green spaces) in conjunction with new buildings.

Existing condition. The current Zoning Code calls for the following height and roof treatments within the Old Town zone:

- Buildings should incorporate vernacular architectural styles from the periods reflected in the zone.
- Buildings should incorporate materials similar to those used on existing historic structures. This includes brick, stucco that is used in the Art Deco style, wood, and stone.
- For one- to one-and-one-half-story structures, a false front is allowed on peaked roofs.
- Hipped roofs are discouraged unless they are in context with the period of architecture reflected in the zone.
- Buildings shall incorporate details prevalent in the architecture reflected in the zone.
- Details, such as parapets and bands, windowsills, and door frames, shall consist of contrasting materials or color to enhance detail.



- Residential Usable Open Space. At least 100 square feet of common usable open space shall be provided for each unit, up to a maximum area equivalent to 20 percent of the site. Units with at least 200 square feet of private open space, where the smallest dimension is no less than 10 feet, shall be exempt from common open space requirements. Common and private open space shall meet the dimensional criteria below. Indoor recreational space may be substituted for common usable open space.

Table 21.62.020A Residential Usable Open Space Size and Dimensions				
Type of Usable Open Space	Minimum Length	Minimum Width	Minimum Height	Minimum Area (in square feet)
1. Common	12 feet	12 feet	As specified in IBC for habitable overhead height	200
2. Private				
- Patio	8 feet	8 feet	Same as above	80
- Balcony	5 feet	5 feet	Same as above	50

In addition, as described above, the Zoning Code includes a height overlay which limits building height for parcels fronting Leary Way to 3 stories for approximately the first block. The balance of the Old Town zone allows building heights of up to 6 stories with use of TDRs or GBP. Visualizing implementation of current code provisions and alternative approaches is a topic that staff is working on with the assistance of the Makers consulting firm.

Proposal. Staff will provide recommendations regarding height, massing and stepbacks in late July as an addendum to the Technical Report.

Alternatives and Analysis. Will be provided.

5. **Quality, Legacy, and Timeless Architecture and Design.**

- **Ensure that new buildings enhance rather than detract from nearby or adjacent historic structures.**
- **Encourage the use of high quality urban materials and integrated design details between floors one through three for new construction.**
- **Encourage the use of distinctive design, rich northwest color palates, and long lasting materials.**
- **Promote sustainable, innovative development projects that will provide long-term community benefits and have a high environmental and visual quality.**
- **Ensure that individual building elements and details are visually consistent with a building's overall architectural style.**

Existing condition. Current Comprehensive Plan policy and the Zoning Code call for development in the Old Town zone to provide high quality architecture and design. The Green Building and Green Infrastructure Incentive Program (RZC 21.67) provides encouragement for sustainable projects that provide high environmental quality. Additionally, the current design standards and the Design Review Board's work with project applicants helps ensure that a building's architecture and design elements are visually consistent across the building envelope.

Proposal. The staff proposed design standards further emphasize timelessness, variety, choices and innovation to guide and encourage exemplary development. For example, the following proposed design standards would address the quality and material for buildings:

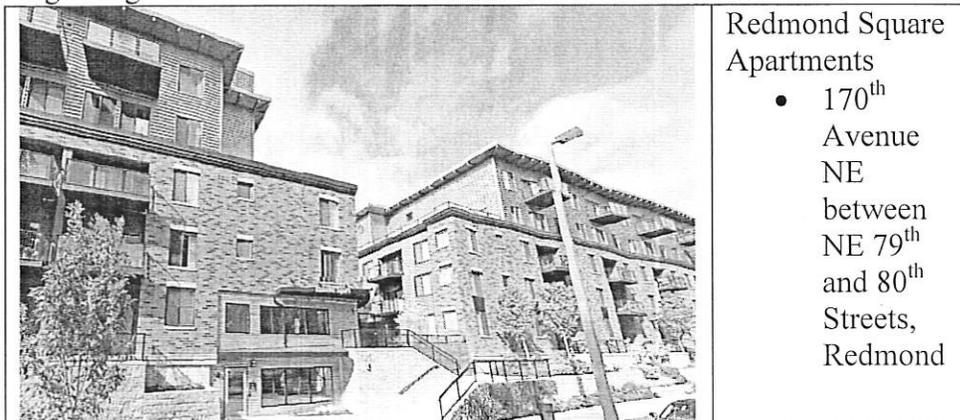
- Buildings shall incorporate distinctive masonry over at least 60 percent of the exterior and use a variety of materials over the remainder of the building, similar to those used on historic and landmark structures in the overlay.
 - Distinctive masonry incorporates higher classifications of brick, stone, tile, and concrete; uses a variety of positioning, bonds, and joints; and incorporates unique sculptural elements and finishes.

- Distinctive masonry avoids the use of institutional brick that is flat, solid color, and uniform in pattern; and when applied as brick, shall incorporate those with texture and color variation for visual interest.
- Use of reclaimed and repurposed, historic and traditional material is encouraged. This includes brick, stucco that is used in the Art Deco style, wood, and stone. Other materials including marble, tile, and metal, should also be used, such as for visual interest.
- Use of other materials over the building's exterior and for visual interest will be considered on a case-by-case basis. If used, the materials shall appear similar in character to those used historically and shall demonstrate timeless character and exemplary design sympathetic to historic structures within the overlay. For example, stucco or cast stone shall be detailed to provide a human scale and architectural interest.

Alternatives and Analysis. The Design Review Board as well as the staff team believed that requiring a certain amount of masonry would be appropriate to help implement the vision and policies for Old Town and in particular the proposed overlay. Members of the Design Review Board suggested a general requirement for use of masonry, particularly at the building base. However, the staff team which includes those staff who administer the code believed that in order to provide clear standards for use in implementing the design criteria, a minimum percentage of masonry would be important. Staff proposes a minimum of 60 percent as a balanced approach to:

- Ensure exemplary building design and sense of timelessness;
- Continue to provide for variety through the application of masonry as well as the material used over the remaining 40 percent of the building; and
- Work in combination with the proposed high transparency requirement, at 75 percent of the horizontal façade of the building base; maintain fairness in achieving the desired vision; and support investments in the Downtown.

The following modern developments are comparable to the proposed requirements regarding material:



	<p>Evergreen Hospital Medical Center</p> <ul style="list-style-type: none"> • Corner of NE 90th Street and Red-Wood Road, Redmond
	<p>The Braeburn Mixed-Use</p> <ul style="list-style-type: none"> • Corner of Pine Street and 14th, Seattle

Staff also considered the variety of material and techniques used in applying masonry to commercial and mixed-use structures.

Other Planning Commission Topics for Consideration

6. Old Town Historic Core Character

Existing condition. The Historic Core is a portion of the Old Town zone and is the extent of Redmond’s first business district. Exhibit H shows the proposed overlay area, the location of existing landmarked properties and remaining historic structures that are 40 or more years of age.

The Core or overlay area includes over 100 years of architecture and design and therefore varies in character. Historic buildings range between one-story and two-stories in height. Newer buildings in other portions of the Old Town zone include structures up to six stories and the first story features high ceilings, similar to those found in some landmarked buildings: Redmond Trading Company (Half Price Books), Bill Brown Building (The Matador), Bill Brown’s Garage (former liquor store), and Odd Fellows Hall (Redmond’s Bar & Grill).

Exterior materials used on buildings in the proposed overlay area primarily include wood, masonry such as brick and stone, and stucco. Immediately adjacent to the proposed overlay, exterior materials also include fiber board, metal, and

conventional siding. Windows, entries, and trims are notable in the proposed overlay and help emphasize the variety of penetrations through building facades. For example, windows are recessed and framed with contracting material and entries are recessed and unique in both architecture and design.

The streetscape in this portion of Old Town is unique per the 1993 Leary Way design. However, recent updates to Cleveland Street and scheduled updates to Redmond Way provide a contrast to the conditions particularly of street lights along Leary Way and the need for updates.

Proposal. The staff proposed amendments to policy and code would maintain the vision for the Downtown urban center and the Old Town zone. As well, they would recognize the overlay as a distinct portion of the Old Town zone and establish supplemental design criteria that guide development to:

- Ensure a complementary transition between historic and modern structures; and
- Support the Core’s historic character.

Alternatives and Analysis. Staff worked with Historic Core stakeholders and with the community during 2014 and at several specific stakeholder engagement events during 2015. Online and in-person questionnaires, in-field events, design workshops, and individual meetings helped staff and stakeholders develop conceptual alternatives for the various character-forming architectural and design elements that ultimately became part of the staff proposed amendment package.

Concurrently, Makers worked with the City’s Development Services Center, the development stakeholders and the community to evaluate the current design standards for the Downtown and Overlake urban centers. The Historic Core, being a portion of the Downtown was also addressed through an assessment of current standards, overview of notable examples from other cities, description of emerging best practices, a summary of recommendations for improving the City’s design standards specific to the Core and consultations with the Design Review Board and representatives from the Planning Commission and Landmark Commission.

7. Economic Impact

Existing condition. The following existing policies support strong economic vitality in the Downtown urban center, including the Old Town zone and the Historic Core overlay and the use of design standards to shape how development in the community looks and functions:

- DT-27 Actively support economic development measures that retain and promote existing businesses and attract new businesses compatible with the scale and vision for Old Town. Encourage a variety of economic activities, such as boutiques and other unique stores, restaurants, residences and offices, which promote Old Town as a destination and provide for active uses during the day and evening hours.

- CC-18: Use Design Standards and design review to accomplish the following:
 - Ensure the elements of design, proportion, rhythm and massing are correct for proposed structures and the site;
 - Retain and create places and structures in the city that have unique features;
 - Ensure that building scale and orientation are appropriate to the site;
 - Encourage the use of high-quality and durable materials, as well as innovative building techniques and designs;
 - Promote environmentally friendly design and building techniques such as LEED for the construction or rehabilitation of structures;
 - Minimize negative impacts, such as glare or unsightly views of parking;
 - Incorporate historic features whenever possible;
 - Maintain integrity of zones such as Old Town with unique or historic qualities; and
 - Ensure that the design fits with the context of the site, reflecting the historic and natural features and character.

Additionally, the following portion of the Downtown purpose section of the Zoning Code addresses economic vitality:

- Promote the development of Downtown as an Urban Center, attracting people and businesses by providing an excellent transportation system, diverse economic opportunities, a variety of well-designed and distinctive places to live, and proximity to shopping, recreation, and other amenities.

Proposal. The proposed amendments for the Old Town Historic Core Overlay are consistent with the existing policies and vision for this area. Regarding potential economic impacts, some of the staff proposed amendments would provide additional flexibility while others would be more specific than existing design standards as described in the examples below.

Reduced Sidewalk Width

One element of the staff recommended design standards that would allow additional flexibility is through the proposed reduction to the required sidewalk width on Leary Way within the Historic Core overlay. Current Street Type I requirements call for sidewalk widths for new developments within the Historic Core area to be a total of 14 feet, which includes a 12 foot sidewalk and 2 foot setback area. Staff proposes that narrower sidewalks are more supportive of the historic village concept and recommend an overall 2 foot reduction in width; or a 10 foot sidewalk with a 2 foot setback area. The reduced width is sufficient to allow enhancements to pedestrian infrastructure and ease of pedestrian mobility within the sidewalk area. Further, it allows a closer integration of the public (sidewalk) to the private (business) realm and to function as a more vibrant public space. In addition, this approach would allow a setback along the street for new development that is more consistent with existing structures, including landmark buildings.

Reduced sidewalk width will also result in additional building area along the Leary Way frontage for the property owner or developer. For example, properties within the overlay area are typically 40 feet in width and a reduced sidewalk/setback of two feet along the entire width of the building allows 80 square feet of additional building area on each floor.

Other Design Standards

Additional recommendations to various design standards include more specific direction regarding building treatments. For example, while existing standards identify appropriate building materials and the use of architectural details to enhance the sequential pedestrian experience and the tripartite aspect of historic buildings, proposed standards further define and support these concepts.

Building Material

Staff considered the development cost associated with various building materials and the recommended standards. Generally, the proposal could have positive impacts on the economic condition of businesses in the overlay by guiding design of development to support achievement of an attractive, engaging and functional pedestrian environment. The proposed amendments would continue to provide opportunities for variety, flexibility, and incentives though; some of the proposed standards could result in increased costs for developers. For example, masonry, that is distinctive and varies, is called for over 60 percent of the building's exterior. Simultaneously, a high percentage of transparency (75 percent) is called for at the building base, possibly balancing the increase in material cost. Additionally, the level of distinction and variation could translate into higher costs, based on the developers' approach and implementation in combination with proposed transparency requirements.

Alternatives and Analysis. The staff team for this update considered various alternatives and the implications for each of these topics. For example for sidewalk width, the team considered what streetscape elements were most important for Leary Way and other nearby streets. The team also considered the trade-offs and implications of various alternatives for building materials. Overall, staff anticipates that while some of the recommended updates, such as those for building material, may involve higher costs at the time of development, others, such as the recommended reduction in sidewalk width, may result in cost savings.

In evaluating alternatives, staff also considered the potential benefits and impacts to economic vitality in a broad sense. The Comprehensive Plan's vision for the area is to maintain and enhance its character as the first shopping and gathering place in Redmond. Design standards that address stakeholder and community concerns and which support that vision could add to the level of investment in architecture, design and streetscape elements and further attract new development, residents and consumers to the area.

8. **Mobility Choices and Connection to Mass and High Capacity Transit**

Existing condition. In addition to economic vitality, the Downtown purpose section of the Zoning Code calls for providing a pedestrian- and bicycle-oriented environment with “local” streets appropriate for a destination location. This implements policy DT-28 that calls for maintaining and enhancing the traditional Downtown “main street” character, which includes continuous pedestrian-oriented storefronts and pedestrian-scaled streetscapes, through specific attention to architectural detail, components of the streetscape, and the relationships between them.

Proposal. The staff proposed amendments include three modifications to the Downtown Pedestrian System, Map 10.3.

The first amendment proposes a non-motorized connection running east-west through the center of the Historic Core overlay. The purpose of this new connection would be to create a pedestrian and visual connection between the Core and Downtown Park, and to foster opportunity for increased economic vitality.

The second amendment proposes refinements to the cross-section of Gilman Street as identified during a staff design workshop in late 2014. In the Zoning Code on the Pedestrian System Map this street is currently indicated as a 30-foot wide shared pedestrian and vehicular connection from the Redmond Central Connector, through the Historic Core and Cleveland Street, to the northern portion of the Old Town zone and Downtown gateway at NE 80th Street and 164th Avenue NE. The actual right-of-way width is 60 feet, and this amendment would retain the shared use character of the street while updating the cross-section to use the full 60 feet. The amendment would also update the north-most block to have a “Type 1” (14-foot sidewalk and planting strip) facility on the west side, which will alleviate the sidewalk crowding condition that exists today.

The third recommended amendment as described above is to reduce the required sidewalk width along Leary Way within the overlay to 12 feet. This reduction would result in a sidewalk width that is consistent with current conditions, defined in the 1993 Leary Way design project, and would maintain building setbacks consistent with existing historic and landmark structures. The recommended width supports activating the sidewalk such as with outdoor café seating, maintain street trees and other streetscape amenities, and meeting Americans with Disabilities Act accessibility requirements.

Alternatives and Analysis. Staff discussed over several occasions the east-west, non-motorized connection with Historic Core stakeholders and with the Downtown Park staff team. The connection could allow for a reconfiguration of the private parking lots currently located to the rear of Leary Way businesses including The Stone House, Homegrown Deli, El Toreador, and Palmers, and create new opportunities for outdoor dining, placemaking, and wayfinding. Several site design elements would be necessary to implement the changes and would include siting

and screening waste receptacles and landscaping and lighting the non-motorized portion of the cooperatively managed space.

Several streetscape and configuration alternatives were considered for Gilman Street. The first of its three segments has been mostly developed during the construction of the Elan (Topsy Cow) building. The second or middle segment would be constructed at the time of adjacent development. This portion would support adjacent businesses by providing opportunity for outdoor dining and by offering the potential for closures such as for public events and festivals. And, the third segment would continue to support local businesses such as Victor's Coffee, Redmond Vacuum, and McDonald's Books and may be constructed along with development or as part of a future capital improvement project.

Staff also discussed alternatives and trade-offs for the Leary Way sidewalk width, including keeping the required sidewalk width as is at 14 feet, recommending a 10 foot sidewalk or recommending a 12 foot sidewalk.

9. Parking Opportunities

Existing condition. The Zoning Code includes parking requirements based on allowed uses. For example, in the Old Town zone, general sales and services are required to provide two onsite parking spaces per every 1,000 square feet of gross floor area. In addition to required onsite parking, street, shared-surface, and municipal parking is provided in the Downtown.

Proposal. No changes are proposed to the required onsite parking nor to the parking opportunities provided along Leary Way. The staff proposed amendments to Gilman Street would continue to allow street parking though the total number could change based on final design.

Alternatives and Analysis. Staff continues to work with property owners and stakeholders regarding management of parking programs and implementation of code requirements. There are no significant changes in the nature or quantity of parking in this proposal.

10. Relationship to the Rest of the Downtown

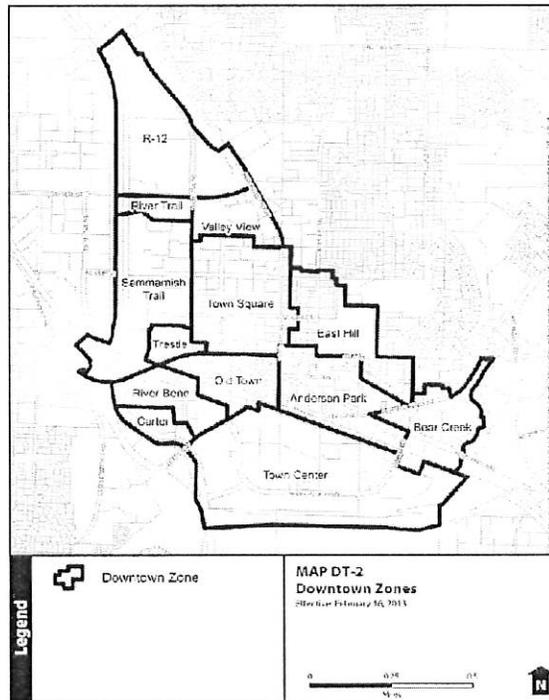
Existing condition. The eastern portion of the Old Town zone, primarily Leary Way currently functions as a dining and entertainment area within the Downtown. Visitors can walk along the length of Leary from NE 76th Street to NE 80th Street, including the Redmond Central Connector and O'Leary Park, and experience a variety of stores and eating establishments. Personal fitness, beauty services, and other shopping opportunities are also found in the corridor. Leary Way connects to Redmond Town Center to the south, multifamily housing to its north, east, and west, and to additional dining, shopping, and parks in all directions.

Over 600 residential units have been developed in mixed-use buildings along Cleveland Street, in the Old Town zone. Additional mixed-use development is

taking place north of Old Town in the East Hill and Town Square zones and anticipated in the Anderson Park zone.

Current policy (DT-3) calls for enhancing the Downtown Neighborhood by creating visually distinctive, pedestrian-oriented zones:

- Old Town and Town Center: A pedestrian-oriented retail, entertainment, and residential core that provides opportunities for comparison shopping for a wide variety of goods and services and creates an active focus for the Downtown and city;
- Sammamish Trail, Town Square, River Bend and Anderson Park: Mixed-use residential/ office zones adjacent to the retail core that accommodate employment and housing growth in high-quality environments;
- Valley View, Bear Creek and Trestle: Convenience retail zones at the entrances to the Downtown that provide for everyday shopping needs, such as groceries, pharmacies, and other convenience retail goods and services, while reducing the need for lengthy trips; and
- River Trail, Carter and East Hill: Residential zones at the periphery of the Downtown that provide a variety of attractive housing choices within quiet neighborhoods a short walk from jobs, stores, services, recreation and transit.



Proposal. The staff proposed Historic Core overlay would align with the eastern portion of the Old Town zone and would recognize the unique character of this area which is at the heart of the Downtown. The proposed amendments include more specific design standards that would apply within the Historic Core overlay. This

amendment would also continue to promote and implement policy DT-3 in reference to the Old Town zone.

Alternatives and Analysis. Staff considered an alternative which would have included additional area as part of the proposed Historic Core overlay. This alternative was rejected because of site configurations and conditions of properties in the surrounding area. For example, Downtown Park lies immediately west of the overlay and will maintain visual access to and from adjacent private parcels. Parcels located to the south include recent mixed-use development and the Redmond Central Connector. And, parcels to the east and north are constrained by size and configuration.

This set of staff proposed amendments does not include updates for the rest of the Old Town zone to reflect establishment of the Historic Core overlay. Staff will propose additional amendments in 2015 and 2016 to update the rest of the design standards in the Zoning Code, including for the remainder of Old Town and other Downtown zones.

B. COMPLIANCE WITH CRITERIA FOR CODE AMENDMENTS

Redmond Comprehensive Plan Policies PI-16 direct the City to take several considerations, as applicable, into account as part of decisions on proposed amendments to the Comprehensive Plan. Items 1 through 6 apply to all proposed amendments. The following is an analysis of how this proposal complies with the requirements for amendments.

1. Consistency with Growth Management Act (GMA), State of Washington Department of Commerce Procedural Criteria, VISION 2040 or its successor, and the King County Countywide Planning Policies.

Proposed amendments to policies and code take into account direction by the GMA, the Department of Commerce, VISION 2040, and Countywide Planning Policies. GMA's planning goals for guiding development of Comprehensive Plan policies and associated regulations include encouraging development in urban areas, reducing sprawl, encouraging efficient multimodal transportation systems, and encouraging economic development and housing opportunities.

The recommended amendments maintain Redmond's portion of projected housing and jobs growth within King County's urban growth boundary, and enhancements and additional connections to support a diverse and efficient multi-modal network.

GMA's planning goals also includes historic preservation. This goal calls for identifying and encouraging the preservation of lands, sites, and structures that have historical or archaeological significance. The recommended amendments will facilitate this goal by recognizing the significance in continuing to preserve existing

landmarked properties and supporting additional investment in the City's original business core.

2. Consistency with the Redmond Comprehensive Plan.

The proposed amendments are consistent with the Comprehensive Plan, particularly policy FW-20, which calls for a variety of business choices meeting the needs of the community, FW-23 thru FW-26 which speak to Downtown's character, vibrancy, and mobility network, LU-2 which ensures that development regulations provide for achieving the preferred land use pattern, CC-3 which ensures that the Downtown is a place that feels comfortable for pedestrians and addresses characteristics including height, scale and intensity, DT-25 which ensures that development in the Old Town zone retains the area's historic village character and complements the character and scale of existing historic buildings, and PI-19, which calls for clear and consistent development regulations.

3. Potential general impacts to the natural environment, such as impacts to critical areas and other natural resources, including whether development will be directed away from environmentally critical areas and other natural resources.

The proposal is unlikely to have any adverse impacts on the natural environment and may have some positive impacts. For example, the proposal calls for enhancing the character in the overlay through additional landscaping and vegetation.

4. Potential general impacts to the capacity of public facilities and services. For land use related amendments, whether public facilities and services can be provided cost-effectively and adequately at the proposed density/intensity.

The proposal, calling for amendments solely to design and street standards, is unlikely to have any significant impacts to the capacity of public facilities and services.

5. Potential general economic impacts, such as impacts for business, residents, property owners, or City Government.

The proposal could have positive impacts on the economic condition of businesses in the overlay by guiding design of development to support achievement of an attractive, engaging and functional pedestrian environment. Though the proposed amendments would continue to provide opportunities for variety, flexibility, and incentives, some of the proposed standards could result in increased costs for developers. For example, a high percentage of transparency (75 percent) is called for at the building base. Masonry, that is distinctive and varies, is then called for over 60 percent of the building's façade. The level of distinction and variation could translate into higher costs, based on the developers' approach.

6. **For issues that have been considered within the last four annual updates, whether there has been a change in circumstances that makes the proposed amendment appropriate or whether the amendment is needed to remedy a mistake.**

The issues addressed in this package have not been considered in the last four annual updates.

V. AUTHORITY AND ENVIRONMENTAL, PUBLIC AND AGENCY REVIEW

A. Amendment Process

Redmond Zoning Code (RZC) 21.76 requires that amendments to the Comprehensive Plan, Zoning Code and Zoning Map be reviewed under the Type VI process. Under this process, the Planning Commission conducts a study session(s), an open record hearing(s) on the proposed amendment, and makes a recommendation to the City Council. The City Council is the decision-making body for this process.

B. Subject Matter Jurisdiction

The Redmond Planning Commission and the Redmond City Council have subject matter jurisdiction to hear and decide whether to adopt the proposed amendment.

C. Washington State Environmental Policy Act (SEPA)

A SEPA checklist was prepared and a Determination of Non-Significance was issued for this non-project action on June 10, 2015 (see Exhibit E).

D. 60-Day State Agency Review

State agencies were sent 60-day notice of this proposed amendment on June 1, 2015.

E. Public Involvement

The public has had several opportunities to contribute to and comment on the proposed amendments including a significant number and variety of engagement events from February 2014 to May 2015 and through the Planning Commission review process. A public hearing will be held on July 15 and continued through August 5, 2015. Public notice of the hearing was published in the Seattle Times on June 24, 2015 (see Exhibit D). Notice of the Planning Commission hearing was posted in City Hall, the Redmond Library, and through RZC 21.76.080, Extraordinary Notice: two 4' x 8' signs were installed at two different locations in the proposed Overlay area. Notice of the hearing is given on the Planning Commission agendas and extended agendas. Notice was also provided to business and property owners affected by the proposed corrections to the Zoning Map.

F. Appeals

RZC 21.76 identifies Zoning Code and Comprehensive Plan Amendments as a Type VI permit. Final action is by the City Council. The action of the City Council on a Type VI proposal may be appealed by filing a petition with the Growth Management Hearing Board pursuant to the requirements of the Board.

VI. LIST OF EXHIBITS

- Exhibit A: Proposed Comprehensive Plan Amendment
- Exhibit B: Proposed Zoning Code Amendments
- Exhibit C: Proposed Zoning Map Amendments
- Exhibit D: Public Hearing Notice
- Exhibit E: SEPA Threshold Determination
- Exhibit F: Summary of Community and Stakeholder Engagement
- Exhibit G: Council Principles for Update to Design Standards
- Exhibit H: Old Town Historic Core Overlay Map with Historic and Landmarked Properties

Conclusion in Support of Recommendation: The Technical Committee has found the proposal to be in compliance with the Redmond Zoning Code, Redmond Comprehensive Plan, Redmond Municipal Code, and State Environmental Policy Act (SEPA).



ROBERT G. ODLE,
Director of Planning and Community
Development



LINDA DE BOLDT,
Director of Public Works

Exhibit A: Proposed Comprehensive Plan Amendments

Attachment 1 - Amendment to Goals, Vision, and Framework Element

Attachment 2 - Amendment to Community Character and Historic Preservation Element

Attachment 3 - Amendment to Urban Centers Element – Downtown Section

Attachment 4 - Amendment to Glossary

B. Our Future Vision for Redmond in 2030

What would Redmond be like as a place to live, work or visit if the community's values and preferences were achieved? The vision statement describes Redmond in the year 2030 if the Comprehensive Plan were implemented.

Community Vision Statement

In 2030 Redmond citizens describe their community as one that is complete, offering a wide range of services, opportunities, and amenities. It's a community that has acted to maintain a balance among the three pillars of sustainability, while accommodating growth and change. As a result, Redmond's high quality of life, cherished natural features, distinct places, and character are enhanced. The community's evolution has successfully woven the small town feel of older, established neighborhoods with the energy and vitality of Redmond's urban centers. The result is a place where people are friendly, often meet others they know and feel comfortable and connected. It is a place where diversity and innovation are embraced, and action is taken to achieve community objectives. It's a place that is home to people from a variety of ethnic backgrounds, which contribute to the richness of the city's culture.

Achieving a balance between accommodating growth and preserving Redmond's unique features and livability was challenging, but over the past 20 years through the clear, shared direction contained in the Comprehensive Plan, the vision has taken shape and throughout Redmond the results are apparent.

In 2030 Redmond's two urban centers—Downtown and Overlake—are thriving centers of residential and commercial activity. Downtown is an outstanding place to work, shop, live and recreate and is a destination for many in Redmond and in the region. Attractive offices, stores, services, and residential developments have contributed to a new level of vibrancy, while retaining a comfortable, connected feel that appeals to residents, business and visitors. Many more people live Downtown, and housing choices include a wide range of pricing options. Strategic public and private investments have created a true multidimensional urban center with several new and expanded public amenities, including the City Hall campus, Downtown Central Park and the Redmond Central Connector, that are gathering places for the community; an arts and community cultural center; a pedestrian connection to Marymoor Park; a vibrant Saturday market and a variety of quality arts and cultural programs and performances.

Various portions of Downtown have their own identities, design and appeal, and it is easy to walk, bicycle, use transit or drive between them as well as to the rest of Redmond and the region. Many visitors walk or take transit to get to their destinations or park in one of the conveniently located garages. The congestion of 20 years ago has been tempered primarily by providing convenient and effective transportation alternatives together with improved operations and then increased capacity in strategic locations, such as SR 520 and important connections in the street grid.

Old Town thrives as a focus for retail activity that attracts pedestrians, providing a distinctive selection of stores, restaurants, boutiques and theaters, as well as varied housing opportunities. The Old Town Historic Core, centered along Leary Way and the City's first business district, provides a unique opportunity to engage with Redmond's history. Within the Core area, new buildings blend with historic and refurbished buildings, retaining the

area's historic character and providing a vibrant place for long-standing and new businesses, side-by-side. Cleveland Street is a pleasant place to walk or sit, and people fill the street during the day and evening. The Redmond Central Connector (the former railroad right-of-way) has been transformed

to an urban green space that people of all ages enjoy, with convenient access to light rail, as well as places to stroll, gather and talk with others, celebrate, or stop and peek in store windows while walking to Old Town or Redmond Town Center.

Large open spaces, such as the Sammamish River, Downtown Central Park, the Redmond Central Connector, Anderson Park and Bear Creek, as well as abundant landscaping and a system of parks and other gathering places, create a sense of Downtown as an urban place within a rich natural environment. A network of walkways, trails, vista points and plazas enable people to enjoy the natural beauty of the river, views of surrounding hillsides and mountains and other points of interest. Recent developments along the Sammamish River are oriented to and embrace the river, while maintaining adequate natural buffers.

Overlake has become a regional urban center that is the location of internationally known companies, corporate headquarters, high technology research and development companies, and many other businesses. While intensively and efficiently developed, the employment areas retain their campus-like feel due to attractive landscaping and the protection of significant trees and other important natural features. During the past 20 years, redevelopment of Overlake Village has brought retail storefronts closer to the street and improvements to streetscapes to reflect the green character of Redmond, making the area more hospitable to transit, pedestrians and bicyclists. This portion of Overlake has also become much more diverse, featuring small neighborhoods with a variety of housing choices, small-scale shopping and services to serve employees and residents, and connections to a network of parks, sidewalks, trails and transit services. In many ways Overlake has demonstrated that high technology uses can thrive in a sustainable urban setting that offers opportunities to live, work, shop and recreate for an increasingly diverse workforce.

Redmond is treasured for its attractive character, natural assets, friendly and welcoming atmosphere, diversity, safety and quiet settings. Redmond includes a broad choice of housing types at a range of prices, including affordable homes. During the past 20 years, there has been much more variety in the types and prices of newly constructed homes, including more cottages,



Downtown 2030



Overlake 2030



B. Historic Resources

Historic resources offer a way to connect with the city's past and provide a sense of continuity and permanence. Those resources represent development patterns and places associated with Redmond's notable persons and community events. The historic fabric together with unique qualities of new development patterns define the character of a city. It is essential to preserve some historic resources to maintain the character of Redmond and to continue to honor its past. Adaptive reuse of historic structures also helps support the City's sustainability principles by reducing the need to obtain additional resources for new building construction.

The Redmond community prides itself in providing a variety of cultural and historic opportunities. Historical organizations continue to demonstrate success in connecting with the community at regularly scheduled meetings and special events. Public projects help foster this connection and build community awareness by incorporating elements of Redmond's history in design features and other opportunities, such as historic street signs in the Downtown and pioneer programs at Farrel-McWhirter Farm Park.

Preservation

CC-28 Encourage preservation, restoration, and appropriate adaptive reuse of historic properties to serve as tangible reminders of the area's history and cultural roots. Continue to designate and protect Historic Landmarks.

CC-29 Coordinate the development of parks and trails and the acquisition of open space with the preservation, restoration and use of historic properties.

CC-30 Acquire historic properties when feasible. Consider cost sharing for acquisition, lease or maintenance with other public or private agencies or governments.

CC-31 Incorporate features, such as Interpretive signage, historic street names and other elements reflecting original historic designs into park projects, transportation projects and buildings on historic sites, when feasible, as a means of commemorating past events, persons of note and city history.

CC-## Maintain a plan for the Old Town Historic Core that:

- Defines complementary design standards for development in the Historic Core;
- Provides an implementation strategy for supporting and increasing economic vibrancy for Old Town's Historic Core; and
- Guides engagement with business proprietors, property owners, community, and OneRedmond.

Survey and Evaluation

Identification of historic properties and archaeological sites is an essential step towards preservation. This includes evaluation of the historic and cultural significance of a property and the extent to which it has maintained its integrity. Property evaluation forms, deed documents, news articles and other information may all be used to evaluate a property. Knowing the history and significance of properties can foster stewardship by owners and the public.

CC-32 Maintain an ongoing process of

Identification, documentation, and evaluation of historic properties. After an Initial survey is completed, conduct a follow-up survey approximately once every 10 years.

CC-33 Maintain and update the Inventory as new Information arises to guide planning and decision making, as well as to provide reference and research material for use by the community.

Landmark Nomination

A Historic Landmark designation is the most common method to identify which historic and cultural resources to protect. Designation of a property can occur at four levels: local, county, state or national. The City of Redmond, King County, the State of Washington and the United States through the United States National Park Service (Secretary of the Interior) all maintain registers of Historic Landmarks. In 2000 the Redmond City Council designated 16 landmarks for protection called Key Historic Landmarks. Of these, 12 sites were designated as Redmond Regional Landmarks during 2010 and 2011, including the Redmond Pioneer Cemetery, one of two designated cemeteries in the county. Three sites were designated as Redmond Regional Community Landmarks and one maintained as a Historic Landmark on the Redmond Heritage Resource Register. In addition, with the owner's consent, other sites can be designated as Historic Landmarks by the City of Redmond.

CC-34 Maintain standardized nomination, designation, and protection rules and procedures consistent with the United States National Park Services (Secretary of the Interior).

CC-35 Encourage nomination of historic resources that appear to meet Landmark criteria by Individuals, community groups and public officials.

CC-36 Require consent of the owner before proceeding with Redmond's Landmark process. Notify and involve the property owner when nominating historic properties for Landmark status.

CC-37 Maintain a register of Landmark properties and make the register accessible to developers, the public and appropriate government offices.

Implementation Measures

Historic resources reflect a use of certain materials, an architectural style, or an attention to detail. Improper alterations or additions can eliminate the very reason that the structure gave character to the area.

Incentives actively encourage both preservation of existing structures and restoration of structures to more closely resemble the original style and setting.

CC-38 Develop and provide Incentives, such as tax abatement programs, low-Interest loan funds, technical assistance, and transfers of development rights, to encourage the preservation of Landmark properties.

CC-39 Emphasize the preservation of historic properties through methods such as adaptive reuse for promoting economic development.

CC-40 Encourage restoration and maintenance of historic properties through code flexibility, fee reductions, and other regulatory and financial Incentives.

Without special code provisions for historic or cultural sites, adaptive reuse (placing new uses in a building once intended for another use) or even modification of a building to make it more functional or economically competitive usually triggers a requirement to bring the structure up to existing codes. The economics of bringing older construction types up to modern ones can be prohibitive to the point that the owners often choose not to make alterations. The resulting effect may be that owners allow the building to deteriorate because of its inability to draw sufficient income to cover adequate maintenance. Alternatively, the property owner may be inclined to tear down and replace the structure.

CC-41 Waive the application of or allow modifications to current development requirements, building and construction code, and fire code to encourage the preservation and appropriate

rehabilitation of Landmark properties.

There may be instances where alteration or demolition of a Historic Landmark is reasonable or necessary. In these cases it is valuable for later researchers to have records of the modifications or past use. New land uses and development can have adverse effects on historic resources. Sensitive design of new development can allow new growth, while retaining community character.

CC-42 Protect designated Historic Landmarks from demolition or Inappropriate modification.

CC-43 Protect significant archaeological resources from the adverse Impacts of development.

CC-44 Mitigate adverse Impacts to the following by methods such as documentation of the original site or structure, Interpretive signage, or other appropriate techniques:

- Landmark or archaeological sites; and
- Properties proposed to be demolished or significantly altered that are eligible for landmark designation, or are of sufficient age and meet a portion of the other criteria for landmark designation.

CC-45 Ensure the compatibility of development adjacent to Landmark properties through measures such as design standards, and the Historic Core Plan.

Regional and Community Involvement

Survey and evaluation work is time intensive. It is not efficient to duplicate such efforts, and opportunities such as grants to foster preservation should continue to be explored. There are financial or other limits to maintaining or contracting personnel with technical knowledge of preservation. It is important to maintain some resources to preserve the historic character of Redmond and, through cooperation, knowledge can be preserved and shared.

Historic preservation efforts work best when the owners of historic properties and the public are involved because they become a partner in such plans and programs. Working with private corporations or businesses and nonprofit agencies could broaden resources to more effectively enhance preservation goals.

Preservation of historic resources may not always be practical and may conflict with other goals, such as accommodating housing or job growth. There are alternative means of making the community aware of its heritage and preserving community identity.

CC-46 Cooperate with regional preservation programs and use technical assistance from other agencies as appropriate.

CC-47 Consider qualifying the City to act as a Certified Local Government to Increase opportunities to seek grant funding.

CC-48 Share survey and Inventory Information with King County, the State Department of Archaeology and Historic Preservation, federal agencies, the public, historic societies, museums and other appropriate entities.

CC-49 Work with residents, property owners, cultural organizations, public agencies, tribes and school districts to develop an active preservation program, including:

- Walking tours, brochures and plaques;
- Online information; and
- Educational efforts to foster public awareness of Redmond's history.

CC-50 Partner with or provide staff support, when possible, for private businesses and nonprofit agencies in preservation and educational efforts.

B. Downtown Neighborhood Policies

Introduction

The community's vision for Downtown Redmond is based upon many years of workshops and forums with people who live or work in Redmond. At these workshops, people have agreed that the Downtown should be a place that:

- Meets community needs for employment, shopping, recreation, civic activities, cultural, and night life opportunities;
- Provides attractive and safe places to live close to amenities, such as restaurants and cafes, a wide selection of stores and services, and plazas and parks;
- Is oriented to pedestrians and bicycles with attractive streets appropriate for a destination environment;
- Provides easy and convenient access to transit;
- Is an urban area enhanced by a rich natural setting, including open space, trees and other landscaping, and a focus on the Sammamish River; and
- Is a place where people want to be, that maintains its comfortable and connected feel and sense of Redmond's history and historic buildings, yet promotes the city's identity as a major economic center.

The community envisions a place that is attractive to a wide variety of people, including those who choose Downtown because living and doing business there is one way of reducing impacts to the natural environment. The policies in this element are designed to help the community achieve its vision of a strong and lively downtown and thus contribute positively to the richness of Redmond's quality of life. To fulfill the future vision, the Comprehensive Plan requires both private and public actions. Private actions are needed to provide desired developments and high-quality design, while public investments and programs are necessary to draw people to the heart of the city, beautify City facilities, and encourage private investment.

The Downtown Urban Center boundary is shown in Map **DT-1**.

ensure efficiency In constructing multiple capital projects with the Connector.

- DT-9 Ensure when new development, redevelopment or exterior remodeling take place on properties on both sides of the Redmond Central Connector that the building and site features integrate with the corridor to create active and engaging spaces for corridor users that are well designed with high-quality materials that respond appropriately, aesthetically and functionally, and contribute to achieving the City's goals and vision for the Redmond Central Connector.

Downtown, together with Overlake and Southeast Redmond, are the portions of Redmond long identified in the Comprehensive Plan for light rail stations. As Sound Transit plans for light rail, the City must ensure that its station and alignment interests are reflected in the development and construction of the East Link light rail. The character and function of Redmond's future light rail stations will vary to reflect land use and transportation goals specific to the Downtown, Overlake and Southeast Redmond neighborhoods. Within the Urban Centers Element, the Comprehensive Plan policy below, together with policies UC-12, UC-13 and OV-32, articulate the City's preferences concerning the general character of the stations and surrounding areas.

- DT-10 Evaluate and consider changes to development regulations in areas adjacent to future light rail stations to encourage transit-oriented development.

Character and Design

The Downtown has an identity distinct from the rest of the city as Redmond's primary community gathering place. Enhancing the Downtown as a desirable place for people to live, work and gather with friends depends on ensuring that it is a place where people want to visit, conduct business and spend time. The Downtown vision retains and

builds on the strengths of the past, including the City's heritage, its high-quality environment, and its attractive civic places.

- DT-11 Ensure that building heights in the Downtown respect views of tree lines and adjacent hillsides and contribute to the development of an urban place that feels comfortable for pedestrians. Achieve this by limiting building heights to five and six stories in general and by allowing exceptions for additional height in a portion of the Town Center zone and elsewhere when accompanied by exceptional public amenities.

- DT-12 Reinforce the Downtown as Redmond's primary location for civic places, such as the Saturday Market, the Old Redmond Schoolhouse Community Center, the Old Firehouse Teen Center, the City Hall campus, and cultural or educational facilities, that are a focus for activity.

- DT-13 Identify historic resources that are defining features of Redmond's Downtown and use the following techniques to preserve the historic character:

- Recognize the Old Town Historic Core and promote its vitality.

- Encourage landmark nomination,
- Encourage restoration and maintenance,
- Incorporate historic building facades or elements of the existing historic buildings into new development,
- Encourage signage or other informational markings at historic sites or structures,
- Ensure that design of new developments adjacent to Historic Landmarks respect the historic character of those buildings and encourage design sympathetic to historic character where adjacent historic buildings are likely to qualify for landmarks, and
- Celebrate the history of Redmond

through creative and meaningful

the Downtown's aesthetic appeal. Consider use of treatments, such as special paving materials for sidewalks, street furniture, landscaping and lighting. Ensure that these treatments are implemented as part of public and private development.

DT-23 Restore Redmond Way and Cleveland Street to two-way operation to Improve the pedestrian and shopping ambiance by promoting slower vehicle speeds on Cleveland Street and to Improve local vehicular circulation and pedestrian access to Individual businesses on Redmond Way and Cleveland Street. Restore these streets to two-way operation after Improvements to extend Bear Creek Parkway, 161st Avenue NE, and 164th Avenue NE have been completed.

DT-24 Implement the recommendations of the adopted Downtown East-West Corridor Study (DEWCS) In order to encourage the creation of a unique, vibrant, and pedestrian-friendly "main street"

environment along Cleveland Street that:

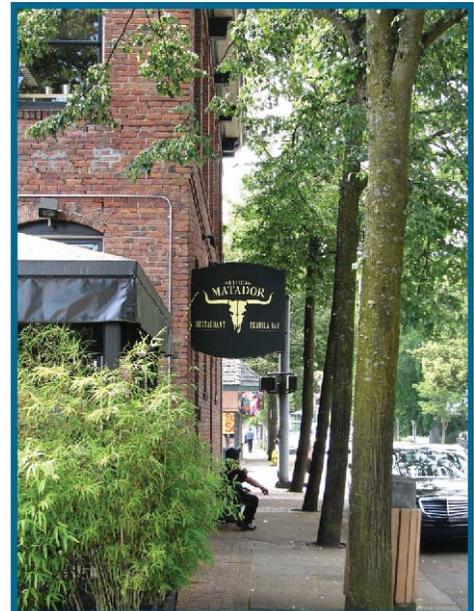
- Creates informal outdoor gathering places;
- Uses streetscape beautification elements, such as street trees, seating areas, pedestrian-scaled street lighting, hanging flower baskets, artwork, and unique signage, to soften and enliven the pedestrian environment;
- Has strong linkages across the Redmond Central Connector for vehicles, bikes and pedestrians; and
- Complements the historic character of OldTown [Historic Core.](#)

Downtown Zones Policies

The Comprehensive Plan recognizes the Downtown as a single neighborhood--less than one square mile in size--that contains a series of sub-neighborhoods or zones. These individual zones will continue to develop as distinctly different places within the Downtown, characterized by different building heights, designs and land uses, distinctive entrance corridors, streetscapes, roadway designs, landscaping and amenities. Map DT-2: Downtown Zones shows these zones.

Pedestrian-Oriented Retail Areas

Downtown Redmond contains two zones planned



for extensive pedestrian-oriented retail activity, comparison shopping, entertainment and residences: Old Town and Town Center. The two zones are adjacent and will be linked through pedestrian and bicycle connections and visual features via connections across the Redmond Central Connector. The block faces of the streets and intersections in these zones will be lined with continuous storefronts and entries to enliven the pedestrian experience of these two areas.

Old Town

The Old Town zone incorporates the original Downtown and includes a number of historic structures. Residents have repeatedly stated that they value the traditional Downtown character and historic structures. Policies for this zone address how to retain that character, as well as allowing for future change.

DT-25 Ensure that development and redevelopment In Old Town retain this area's historic village character and complement the character and scale of existing historic buildings. Maintain height limits appropriate to this character and the pedestrian environment.

DT-## Use architectural and streetscape design standards to ensure that development within the Old Town Historic Core complements and is sympathetic to the historic village character and scale, provides an engaging pedestrian experience along the street, and is distinctive and high-quality.

DT-26 Encourage retention of historic buildings that define the character of Old Town through programs and administrative practices that encourage preservation and reinvestment.

DT-27 Actively support economic development measures that retain

and promote existing businesses and attract new businesses compatible with the scale and vision for Old Town. Encourage a variety of economic activities, such as boutiques and other unique stores, restaurants, residences and offices, that promote Old Town as a unique and historic destination and provide for active uses during the day and evening hours.

DT-28 Maintain and enhance the traditional Downtown "main street" character, which includes continuous pedestrian-oriented storefronts and pedestrian-scaled streetscapes, through specific attention to architectural detail, components of the streetscape including seating and landscaping, and the relationships between them.

DT-29 Enhance Old Town's pedestrian activity, safety and historic character by:

- Avoiding four-lane arterials through Old Town and developing vehicle routes that reduce the negative effects of through traffic,
- Developing and implementing traffic-calming designs that maintain and enhance this zone as a pedestrian-friendly place,
- Encouraging structured parking within or adjacent to Old Town and requiring that structured parking within the zone be designed to either blend with the historic character or be hidden, and
- Discouraging on-site parking next to the sidewalk edge and provide landscaping to buffer on-site parking from the pedestrian realm.

DT-30 Encourage the retention and addition of afternoon and evening entertainment, such as live theater and comedy, dining, dancing and live music, to provide these entertainment opportunities close to home for the greater Redmond community.

DT-## Plan for infrastructure enhancements that support utilitarian needs such as waste disposal and integrate with use of the future Downtown light rail station.

DT-## Provide highly-visible, nonmotorized connections to the Historic Core from Downtown Park and from 164th Avenue NE. Incorporate these connections into development working in partnership with property and business owners.

DT-## Encourage the provision of amenities such as outdoor seating and dining, coordinated landscaping, and cooperative waste disposal to support pedestrian activity within the Historic Core.

Green Building (also known as Green Construction or Sustainable Building)

A structure and use process that is environmentally responsible and resource efficient throughout a building's life cycle: from siting to design, construction, operation, maintenance, renovation, and demolition. Green buildings are designed to reduce the overall impact of the built environment on human health and the natural environment by efficiently using energy, water, and other resources; protecting occupant health and improving employee productivity; and reducing waste, pollution, and environmental degradation.

Green Roof

A bioretention strategy of storing, evaporating, and transpiring stormwater as part of a roof of a building that is partially or completely covered with vegetation and a growing medium, planted over a waterproofing membrane. It may also include additional layers, such as a root barrier and drainage and irrigation systems.

Greenhouse Gas (GHG)

A gas is an atmosphere that absorbs and emits radiation within the thermal infrared range and affects the temperature of the earth. Primary greenhouse gases in the earth's atmosphere are water vapor, carbon dioxide, methane, nitrous oxide, and ozone. At present, the two primary sources of carbon dioxide emissions are from burning coal used for electricity generation and petroleum used for motor transport.

Greywater

Wastewater generated from domestic activities, such as bathing, laundry, and dishwashing, which can be recycled on site for uses such as landscape irrigation. It is not water that has come in contact with human waste.

Gross Floor Area (GFA)

The area included within the surrounding exterior walls of a building or portion thereof, exclusive of vent shafts, elevator shafts, stairwells, courts, second story atriums, and lobbies.

Gross Site Area

Gross site area is that area within the boundaries of a given lot. Gross site area does not include the area of any abutting streets or access ways.

Growth Management Act (GMA)

A Washington State law requiring urban counties and the cities within them to develop comprehensive plans to address growth and the impacts of growth over a 20-year planning horizon. The GMA was enacted in 1990, amended in succeeding years, and is codified at RCW 36.70A and other chapters.

Growth Management Planning Council (GMPC)

The body of comprised city and county representatives and created through an interlocal agreement by most of the cities in King County and the County to undertake interjurisdictional planning under the Growth Management Act or its successor.

High Occupancy Vehicle (HOV)

Generally, a vehicle carrying more than one person, including a carpool, vanpool, or bus.

High Resource Value

Environmental designation to indicate Type I, II or III wetlands; Class I, II and III streams; land or water that supports a priority species or habitat; land or water that is needed to maintain the functioning of an important environmental or ecological function, or land that is primarily made up of Class II and III agricultural soils.

Historic Landmark (or Landmark)

~~A physical property that has been formally designated and listed on a register of historic places by an agency of government in a process defined by the laws, policies, and procedures adopted by a particular governmental agency, including local, regional, state, and federal agencies. A landmark can be a building, a structure, a site (including an archaeological site), a district with a number of buildings, or an object such as a ship or a railway locomotive. A site or structure which has been designated under RZC 21.30, Historic and Archeological Resources, as a historic landmark and is listed on the Redmond Heritage Resource Register.~~

Historic Property (or Historic)

Any prehistoric or historic district, site, building, structure, or object included in, or potentially eligible for inclusion on the local, regional, state or national register.

Exhibit B: Proposed Zoning Code Amendments

Attachment 1 - Amendment to 21.78 Definitions

Attachment 2 - Amendment to 21.10.030 Old Town (OT) Zone

Attachment 3 - Amendment to 21.10.150 Pedestrian System (Map)

Attachment 4 - Amendment to 21.62.020 Downtown Design Standards

Attachment 5 - New Section 21.62.020.M Old Town Historic Core Overlay

Attachment 6 - Amendment to 21.44.020 Signs

ARTICLE VII DEFINITIONS

RZC 21.78 DEFINITIONS

H DEFINITIONS

Historic Landmark (or Landmark). A site or structure which has been designated under RZC 21.30, Historic and Archeological Resources, as a historic landmark and is listed on the Redmond Heritage Resource Register.

Historic Property (or Historic). Any prehistoric or historic district, site, building, structure, or object included in, or potentially eligible for inclusion on the local, regional, state, or national register.

Effective on: 4/16/2011

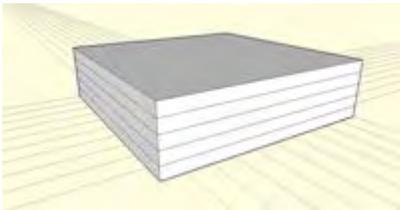
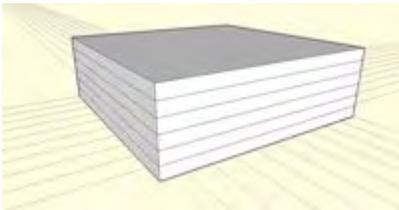
ARTICLE I ZONE BASED REGULATIONS

RZC 21.10 DOWNTOWN REGULATIONS

21.10.030 Old Town (OT) Zone

A. **Purpose.** The **Old Town** district is comprised of the original downtown and includes a number of historic structures and gathering places, including a central park. The Old Town district is established to be a center of pedestrian-oriented retail activity in the Downtown neighborhood. The regulations shaping development in this district provide for an urban village pattern and rhythm which encourages narrow ground floor storefronts, small blocks, narrow streets with curbside parking, mixed-use residential/office/service buildings, and pedestrian-scale architecture. The regulations also encourage the enhancement of existing older buildings in Old Town with small ground floor retail spaces, characterized by narrow bay spacing complementary to pedestrian activity and interest, and office or residential spaces in upper stories. The pedestrian nature of the area is emphasized through lower parking requirements and plans for creation of parking lots/structures in a few central locations at the edge of these areas. This district provides for a full range of retail uses such as specialty and comparison shopping, eating and entertainment establishments, as well as general and professional services, and residential uses.

B. **Maximum Development Yield.**

Table 21.10.030A Maximum Development Yield				
Allowed	Base	Maximum	Illustrations	
Height	5 stories	6 stories	Example of a 5-story building	Example of 6-story building
Lot Coverage	100 percent	100 percent		
These are office building examples using Transfer Development Rights and Green Building Program to achieve the maximum achievable floor area within the maximum allowed building height. Residential and mixed-use residential developments may have similar height, but volume will differ due to setback and open space requirements.				

C. **Regulations Common to All Uses.**

Table 21.10.030B Regulations Common to All Uses		
Regulation	Standard	Notes and Exceptions
Front Setback (distance from back of curb)		

Exhibit B – 2 Amendment to 21.10.030 Old Town (OT) Zone

Table 21.10.030B Regulations Common to All Uses		
Regulation	Standard	Notes and Exceptions
Front and side street (commercial use)	See Map 10.3, Downtown Pedestrian System	Setbacks along Downtown streets are regulated by the Downtown Pedestrian System which specifies street frontage standards between the street curb and the face of buildings, depending on site location.
Front and side street (residential use on ground floor)		Not permitted on ground floor street fronts of Type I pedestrian streets as shown on Map 10.3, <i>Downtown Pedestrian System</i> .
Setback Line (distance from property line)		
Side Commercial	0 feet	
Rear Commercial	0 feet	
Side Residential	See RZC 21.10.130.D, <i>Residential Setback Requirements</i>	
Rear Residential	10 feet	
Yard adjoining BNSF ROW or Parks	14 feet	
Yard adjoining Mid-Block Path	See Map 10.3, Downtown Pedestrian System	
Other Standards		
Minimum Building Height	n/a	
Maximum Building Height without TDRs	5 Stories	Building height is limited to three stories for some parcels fronting Leary Way. See RZC 21.10.110.B, <i>Height Limit Overlay</i> and RZC 21.62.020.M, <i>Old Town Historic Core Overlay</i> .
Maximum Building Height with TDRs and GBP	6 Stories	<ol style="list-style-type: none"> 1. Building height is limited to three stories for some parcels fronting Leary Way. See RZC 21.10.110.B, <i>Height Limit Overlay</i> and RZC 21.62.020.M, <i>Old Town Historic Core Overlay</i>. 2. One floor of additional height may be achieved with the use of Transfer Development Rights. See RZC 21.10.160, <i>Using Transfer Development Rights (TDRs)</i>, or through compliance with RZC 21.67, <i>Green Building and Green Infrastructure Incentive Program (GBP)</i>.
Maximum Lot Coverage	100 percent	For residential development without ground floor commercial/office, lot coverage shall be governed by the Downtown Residential Densities Chart, RZC 21.10.130.B.
Base FAR Without TDRs	1.25	<ol style="list-style-type: none"> 1. Maximum FAR without TDRs or the GBP for nonresidential space is 1.25. Residential space within a mixed-use building is exempt from TDR or GBP requirements. See RZC 21.10.160, <i>Using Transfer Development Rights (TDRs)</i>, and RZC 21.67, <i>Green Building and Green Infrastructure Incentive Program (GBP)</i>. 2. All legal lots are entitled to 10,000 square feet GFA without the use of TDRs or GBP, provided that other site requirements can be met.
Allowed Residential Density	Depends on Lot Size	See RZC 21.10.130.B, <i>Downtown Residential Densities Chart</i> .
Drive-through	n/a	Drive-through facilities are prohibited except where expressly permitted in the Allowed Uses and Basic Development Standards table below.

Exhibit B – 2 Amendment to 21.10.030 Old Town (OT) Zone

D. **Allowed Uses and Basic Development Standards.** The following table contains the basic zoning regulations that apply to uses. To use the chart, read down the left-hand column titled “Use.” When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, *Overview of the Development Process*, for more information. Uses not listed are not permitted.

Table 21.10.030C Allowed Uses and Basic Development Standards			
Section	Use	Parking Ratio: Unit of Measure Minimum required, Maximum allowed	Special Regulations
Residential			
1	Multifamily Structure, Mixed-Use Residential	Dwelling Unit (1.0, 2.25) Plus one guest space per four units for projects with six units or more. Curbside parking along the site may be counted towards up to 25 percent of the required off- street parking.	<ol style="list-style-type: none"> Maximum density per lot dependent upon size and width of lot, per RZC 21.10.130.B, <i>Downtown Residential Densities Chart</i>. Not permitted on ground floor street fronts of Type I pedestrian streets as shown on Map 10.3, Downtown Pedestrian System, or where ground floor residences may be negatively impacted by nearby nonresidential uses. Residential uses may be allowed on ground floor streets fronts of Type II Pedestrian Streets, per RZC 21.62.020.F.5, <i>Ground Floor Residential Uses on Type II Pedestrian Streets</i>, but not within the shorter distance of 50 feet or a quarter-block length from a street intersection. Affordable Housing requirements apply to developments of 10 units or more. See RZC 21.20.020, <i>Applicability</i>.
2	Dormitory	Bed (0.5, 1.0)	
3	SRO		
4	Housing Services for the Elderly	See Special Regulations	Parking requirements are as follows: <ol style="list-style-type: none"> Multifamily housing for senior citizens: Unit (0.5, 2.0) Nursing home or long-term care facility: 4 patient beds (1.0, 1.0) Retirement residence with no skilled nursing facility: Unit (1.0, 1.0) Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25) A traffic mitigation plan is required. The plan shall address traffic control; parking management, including mitigation of overflow parking into adjoining residential areas; and traffic movement to the arterial street system.
General Sales or Service			

Exhibit B – 2 Amendment to 21.10.030 Old Town (OT) Zone

Table 21.10.030C Allowed Uses and Basic Development Standards			
Section	Use	Parking Ratio: Unit of Measure Minimum required, Maximum allowed	Special Regulations
5	General Sales or Services	1,000 square feet gfa (2.0, 2.0)	<ol style="list-style-type: none"> 1. Uses not permitted include: <ol style="list-style-type: none"> a. Gas station. b. Auto repair. c. Automobile sales with outdoor display and storage. d. Rental storage and mini-warehouses. e. Retail sales or services involving drive-through/drive-up facilities, except drive-through facilities confined within the garage of a multistory building of at least three stories shall be allowed when the drive-through lanes provide a queuing length adequate to serve peak demand without overflowing onto public sidewalks or streets, as determined by a professional traffic engineer and approved by the City. f. Uses which are materially detrimental to typical downtown office and residential uses in terms of excessive noise and vibration, truck traffic, fumes, and other potential impacts. 2. Parking standards for restaurant uses: <ol style="list-style-type: none"> a. Sit-down restaurant: 1,000 SF GFA (2.0, 9.0). b. Take-out restaurant: 1,000 SF GFA (2.0, 10.0). c. The Technical Committee may waive the parking requirement for restaurant/deli/café uses 1,000 square feet gfa, or less in area that support/enhance the City's vision for creating/enhancing Downtown as a pedestrian place provided: <ol style="list-style-type: none"> i. The use is located in an office building and primarily serves the occupants and guests of the office building; or ii. The use is visible from and within 100 feet of a promenade or Downtown park, such as Luke McRedmond Park, Anderson Park, O'Leary Park, The Edge Skate Park, or the 83rd Street Promenade, for example, or within 100 feet of a critical areas buffer of the Sammamish River and access to the River Trail, and the use is designed to enliven the pedestrian environment and primarily cater to pedestrians and outdoor patrons. 3. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.
6	Hotels, Motels, and Other Accommodation Services	Rental room (1.0, 1.0)	
Transportation, Communication, Information, and Utilities			
7	Road, Ground Passenger, and Transit Transportation	1,000 square feet gfa (2.0, 2.0)	Regional light rail transit system and office uses only. No vehicle storage except light rail vehicles.
8	Rapid charging station	Adequate to accommodate peak use	Shall not be located on a parcel that abuts a residential zone.
9	Battery exchange station		

Exhibit B – 2 Amendment to 21.10.030 Old Town (OT) Zone

Table 21.10.030C Allowed Uses and Basic Development Standards			
Section	Use	Parking Ratio: Unit of Measure Minimum required, Maximum allowed	Special Regulations
10	Communications and Information	1,000 square feet gfa (2.0, 2.0)	
11	Local Utilities		
12	Large Satellite Dishes/Amateur Radio Tower	Adequate to accommodate peak use	See RZC 21.56 , <i>Wireless Communication Facilities</i>
13	Antenna Array and Base Station		A Conditional Use Permit may be required; see RZC 21.56 , <i>Wireless Communication Facilities</i> , for specific development requirements.
14	Antenna Support Structure		Requires a conditional use permit. See RZC 21.76.070.K , <i>Conditional Use Permit</i> .
Arts, Entertainment, and Recreation			
15	Arts, Entertainment, and Recreation	Adequate to accommodate peak use	
Education, Public Administration, Health Care, and Other Institutions			
16	Education, Public Administration, Health Care, and Other Institutions, except those listed below	See Special Regulations	Parking: The number of spaces must be adequate to accommodate the peak customer and employee shift, demonstrated by a parking study or other study submitted by the applicant and approved by the Code Administrator.
17	Day Care Center		Provisions for day care centers include: <ol style="list-style-type: none"> 1. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0). 2. Play equipment shall be located no less than 10 feet from any property line. 3. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Code Administrator after considering the probable number of employees, etc.
18	Religious Institutions	1,000 square feet gfa (10.0, 10.0) or 1/5 fixed seats	<ol style="list-style-type: none"> 1. A seat is one fixed seat or 18 inches on a pew or bench, or seven square feet in the general assembly area, including aisle space, but excluding stage, podium, lobby, and space for musical instruments. 2. A traffic mitigation plan is required. The plan shall address traffic control; parking management, including mitigation of overflow parking into adjoining residential areas; and traffic movement to the arterial street system.
19	Funeral Homes and Services		Excludes crematoriums.
Other			

Exhibit B – 2 Amendment to 21.10.030 Old Town (OT) Zone

Table 21.10.030C Allowed Uses and Basic Development Standards			
Section	Use	Parking Ratio: Unit of Measure Minimum required, Maximum allowed	Special Regulations
20	Vending Carts, Kiosks		<ol style="list-style-type: none"> 1. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access. 2. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act. 3. Structures shall be secured to prevent tipping and endangering public safety. 4. Maximum size is six feet wide by ten feet long. 5. Administrative design review required for structures.
21	Automobile Parking Facilities		Surface parking lots are prohibited.

(Ord. 2642; Ord. 2652; Ord. 2679; Ord. 2709)

ARTICLE I ZONE BASED REGULATIONS

RZC 21.10 DOWNTOWN REGULATIONS

21.10.150 Pedestrian System

- A. **Purpose.** The purpose of the Downtown pedestrian system is to:
1. Provide safe pedestrian routes removed from traffic;
 2. Enhance the appearance of buildings and their settings;
 3. Provide a unified design element to complement varying architectural styles;
 4. Soften the appearance of parking lots and service storage areas; and
 5. Provide for the planting of street trees and other vegetation appropriate for an urban setting.
- B. **Installation of Pedestrian System.** The various components of the pedestrian system are shown on Map 10.3, Downtown Pedestrian System; the tables and graphics included in RZC 21.10.150.C, *Pedestrian System Description*; Map 10.4, Town Center Pedestrian System; and the table in RZC 21.10.150.O, *Downtown Streets Cross Sections*, all of which are incorporated as a part of this section. As property is developed or redeveloped, corresponding portions of the systems shall be installed or otherwise provided for by the property owner/developer. The front yard distance specifies the minimum front yard setback measured from the back of sidewalk. Where the front yard distance is specified as zero feet, the building shall be built to the back of the sidewalk. The mid-block segments shown on the map represent desired connections between blocks. In order to provide flexibility, the actual alignment shall be determined through the site plan land use permit process.

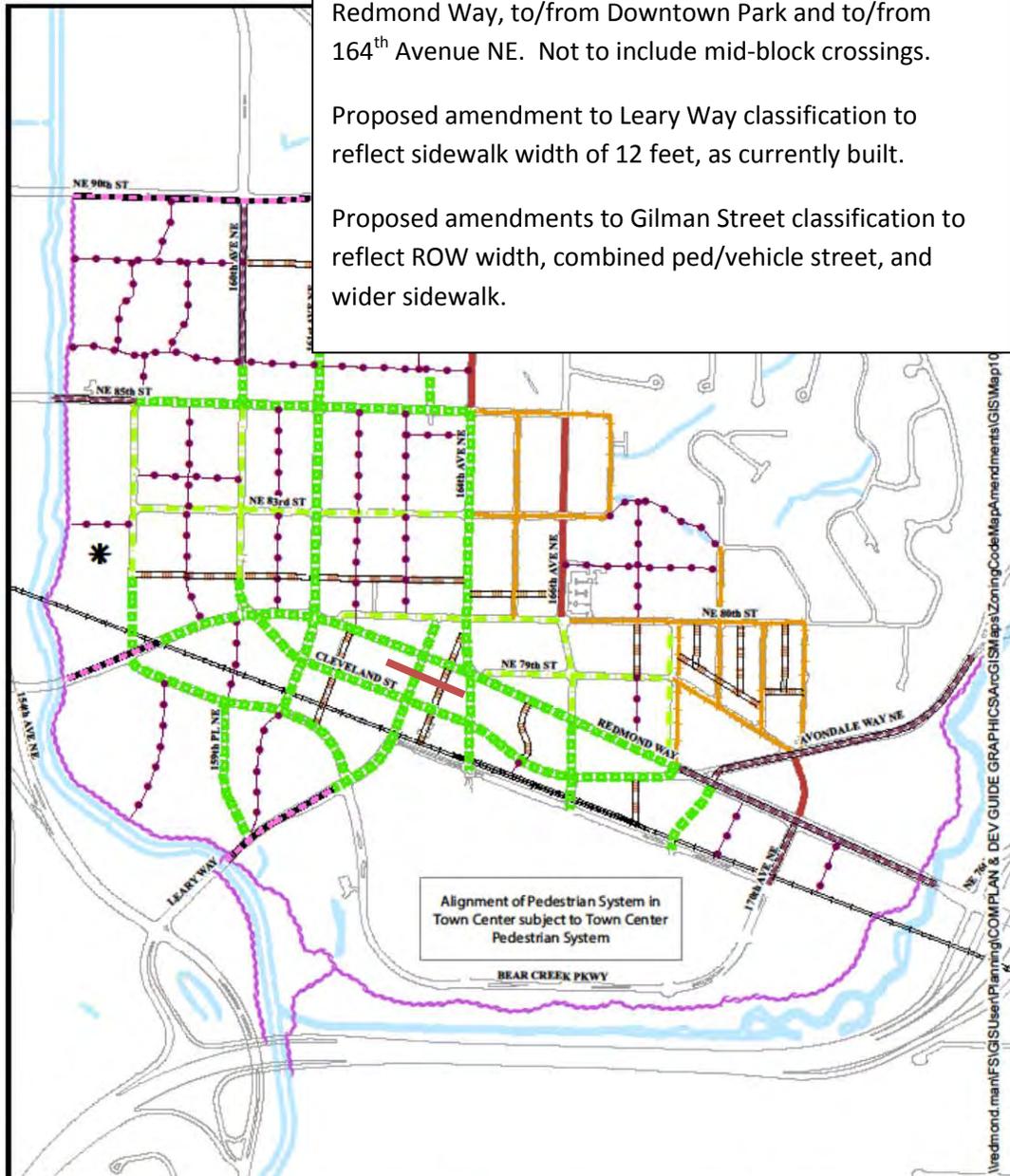
Map 10.3
Downtown Pedestrian System

Exhibit B – 3 Amendment to 21.10.150 Pedestrian System (Map)

Proposed amendments to map: pedestrian connection through Historic Core, between Cleveland Street and Redmond Way, to/from Downtown Park and to/from 164th Avenue NE. Not to include mid-block crossings.

Proposed amendment to Leary Way classification to reflect sidewalk width of 12 feet, as currently built.

Proposed amendments to Gilman Street classification to reflect ROW width, combined ped/vehicle street, and wider sidewalk.



Legend

- Type I: A 14-foot urban walkway with 4-feet for tree gates and pedestrian amenities, an 8-foot sidewalk, and a 2-foot setback area for planters and building modulation.
- Type II: A 14-foot urban walkway with 4-feet for tree gates and pedestrian amenities, an 8-foot sidewalk, and a 2-foot setback area for planters and building modulation.
- Residential uses may be allowed on street frontage (ground floor) of Type II Pedestrian Streets per multi-family regulations for Old Town, Anderson Park, Bear Creek, Sammamish Trail, Town Square, River Bend and River Trail zones, RZC 21.10.
- Type III: A 25-foot landscaped walkway with a 5-foot parkway for street trees, a 6-foot sidewalk, and 14-feet of landscaped yard area.
- Type IV: A 20-foot landscaped walkway with a 5-foot parkway for street trees, 8-foot sidewalk, and 7-feet of planting/plaza area.
- Type V: A 30-foot landscaped walkway with 5-foot planter strip for trees, 8-foot sidewalk and 17-feet of planting/plaza area.
- BNSF Railroad: Future urban trail
- Type VI: A 20-foot landscaped walkway with 4-feet for tree gates, 8-foot sidewalk and 8-feet of planting/plaza area.
- Type VII: A 30-foot wide shared pedestrian and vehicular lane.
- Type VIII: A 12-foot asphalt trail following natural elements such as rivers and streams, with pedestrian orientation on building side.
- Type IX: A pedestrian path that can be one of, or a combination of the following three standards:
 - 1) A 30-foot-wide mid-block pathway with an 8-foot sidewalk in the middle and 11 feet of landscaping/plaza on each side when outdoors between buildings.
 - 2) A 14-foot wide pathway when passing through a portal of a building that is at least 10 feet in height clearance and is well lit at night.
 - 3) The portal path is also allowed to be located on vehicular driveways when the ceiling height is at least 10 feet high, and the driveway is at least 20 feet wide and is paved with a textured concrete or pavers (not painted) to indicate that it is also a pedestrian path. Public access signage/plaques shall be installed at both ends of the path.

Map 10.3
Downtown Pedestrian System
 Effective: Month #, 2015

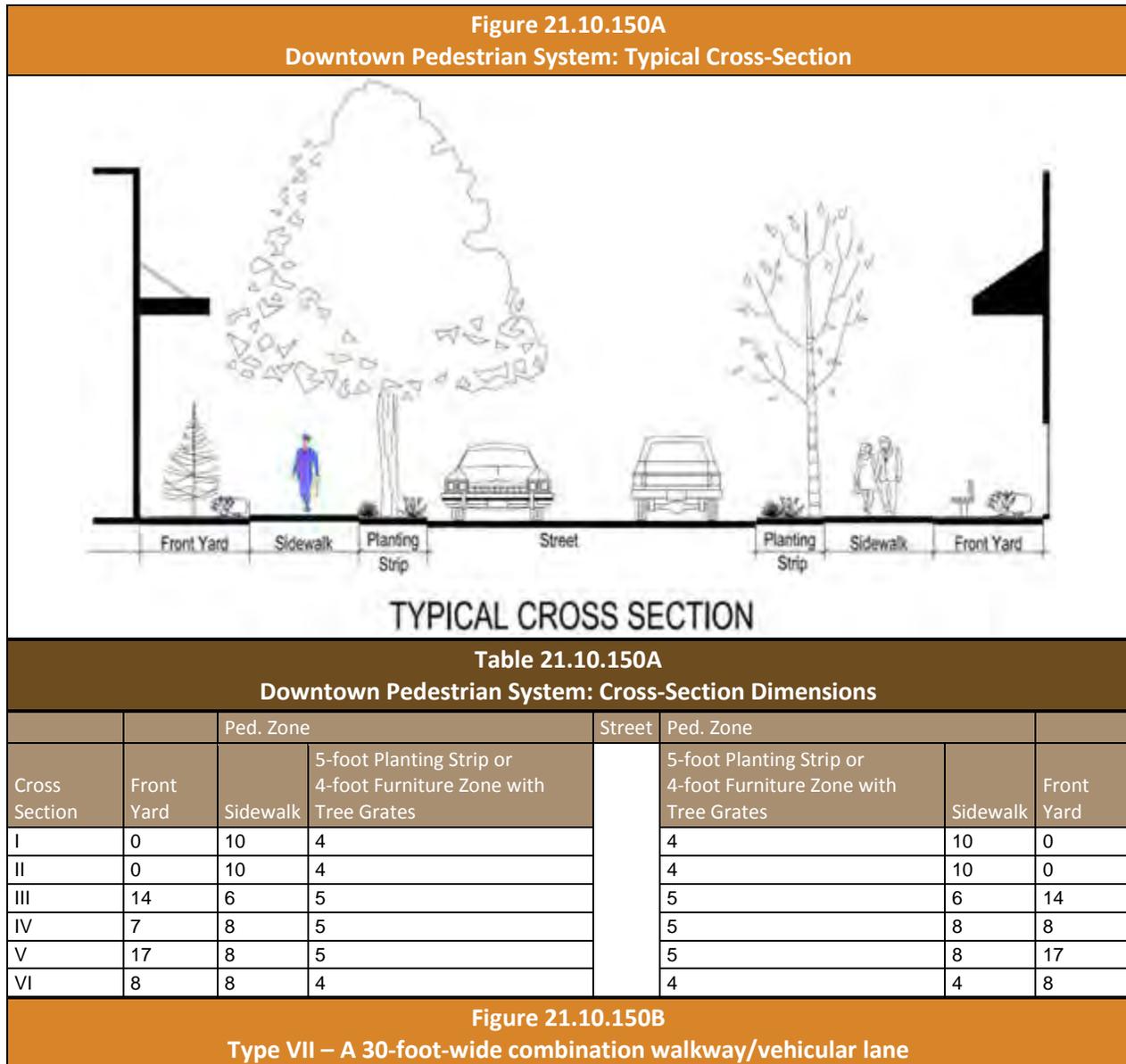
0 0.125 Miles

**Note: On Lot 6 of the Redmond Center Plat, buildings need not be located up to the sidewalk edge of the Type V Pedestrian System that is to about Lot 6's east edge.*

Note: Online users may click the map for a full-size version in PDF format.

Exhibit B – 3 Amendment to 21.10.150 Pedestrian System (Map)

C. **Pedestrian System Description.** The table and graphics below depict the various pedestrian system cross sections that are called out in the corresponding Map 10.3, Downtown Pedestrian System, above. Pedestrian System Types I through VI are grouped together in a common table as they are located along street fronts.



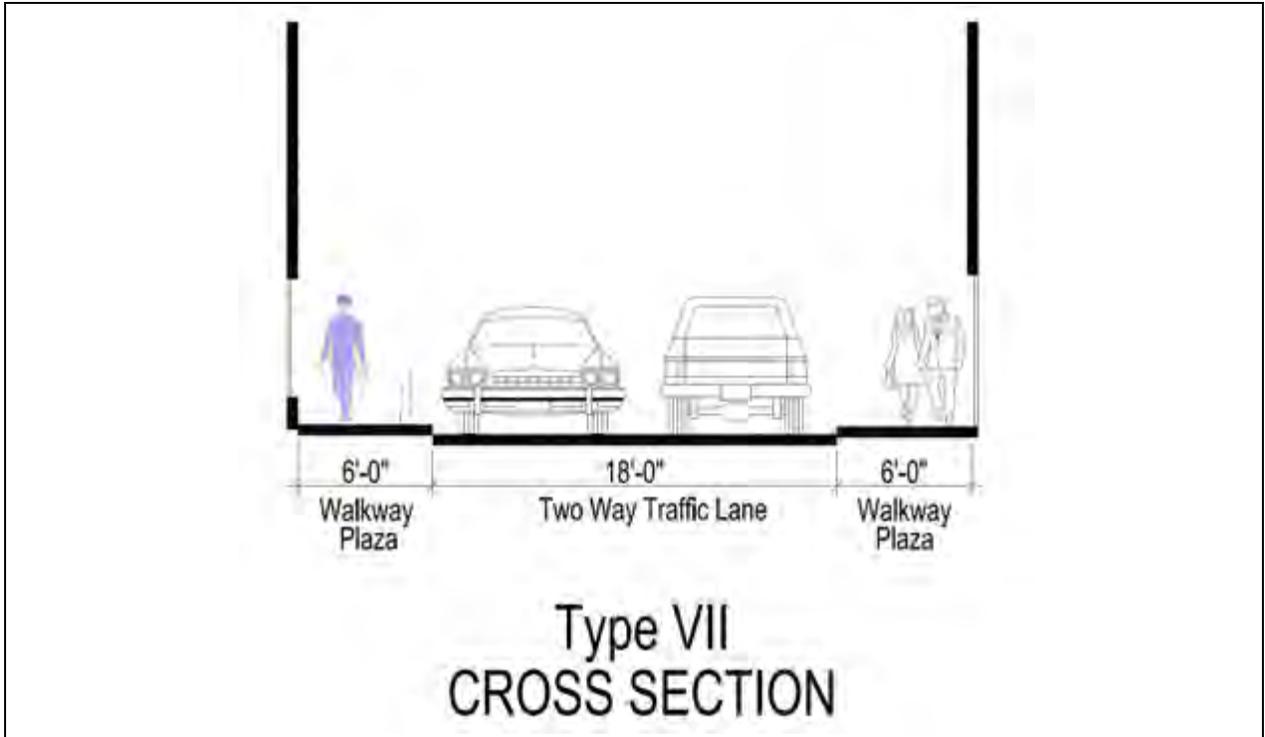


Figure 21.10.150C

Type VIII – A 12-foot asphalt trail following natural elements, such as rivers and streams, with pedestrian connection to buildings.

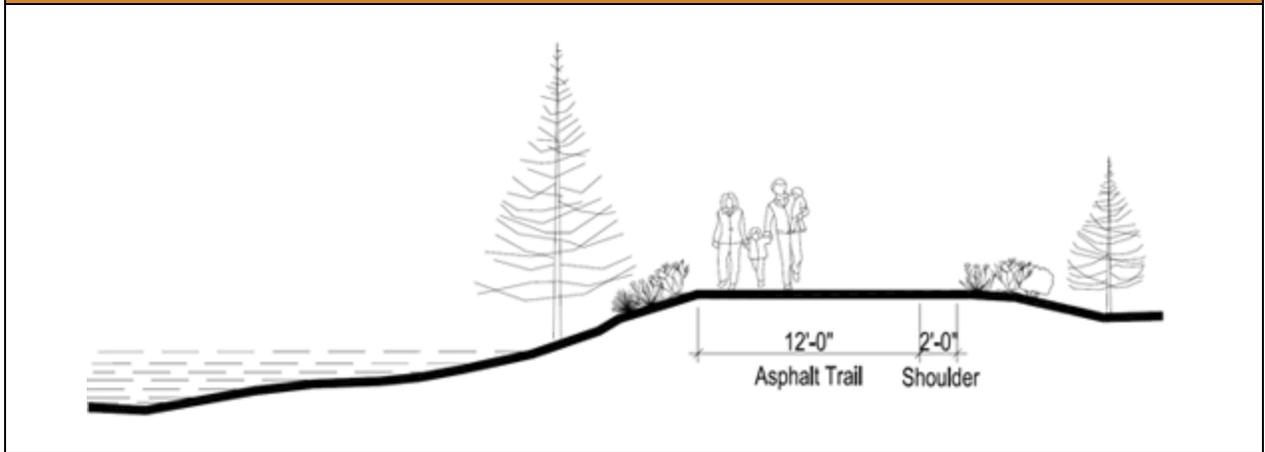


Figure 21.10.150D

Type IX - A 30-foot-wide mid-block pathway with an 8-foot sidewalk in the middle and 11 feet of landscaping/plaza on each side.

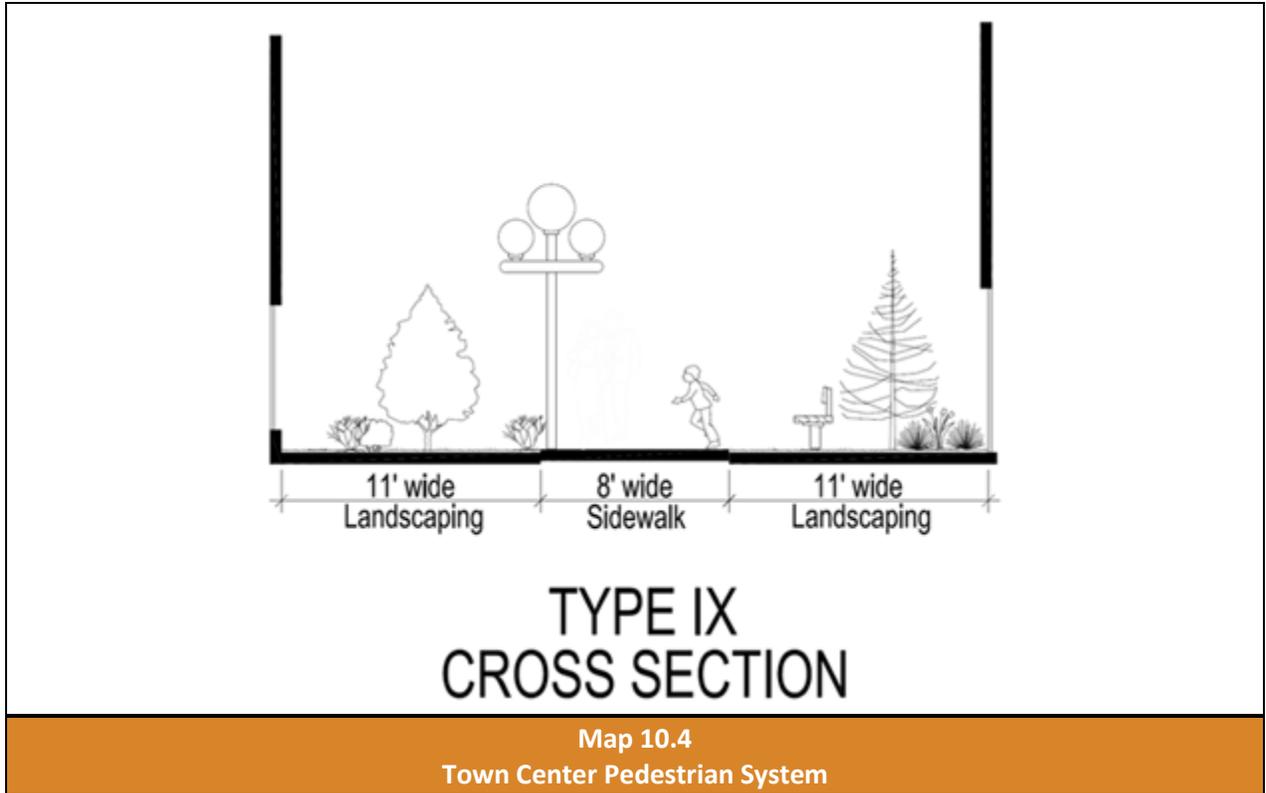
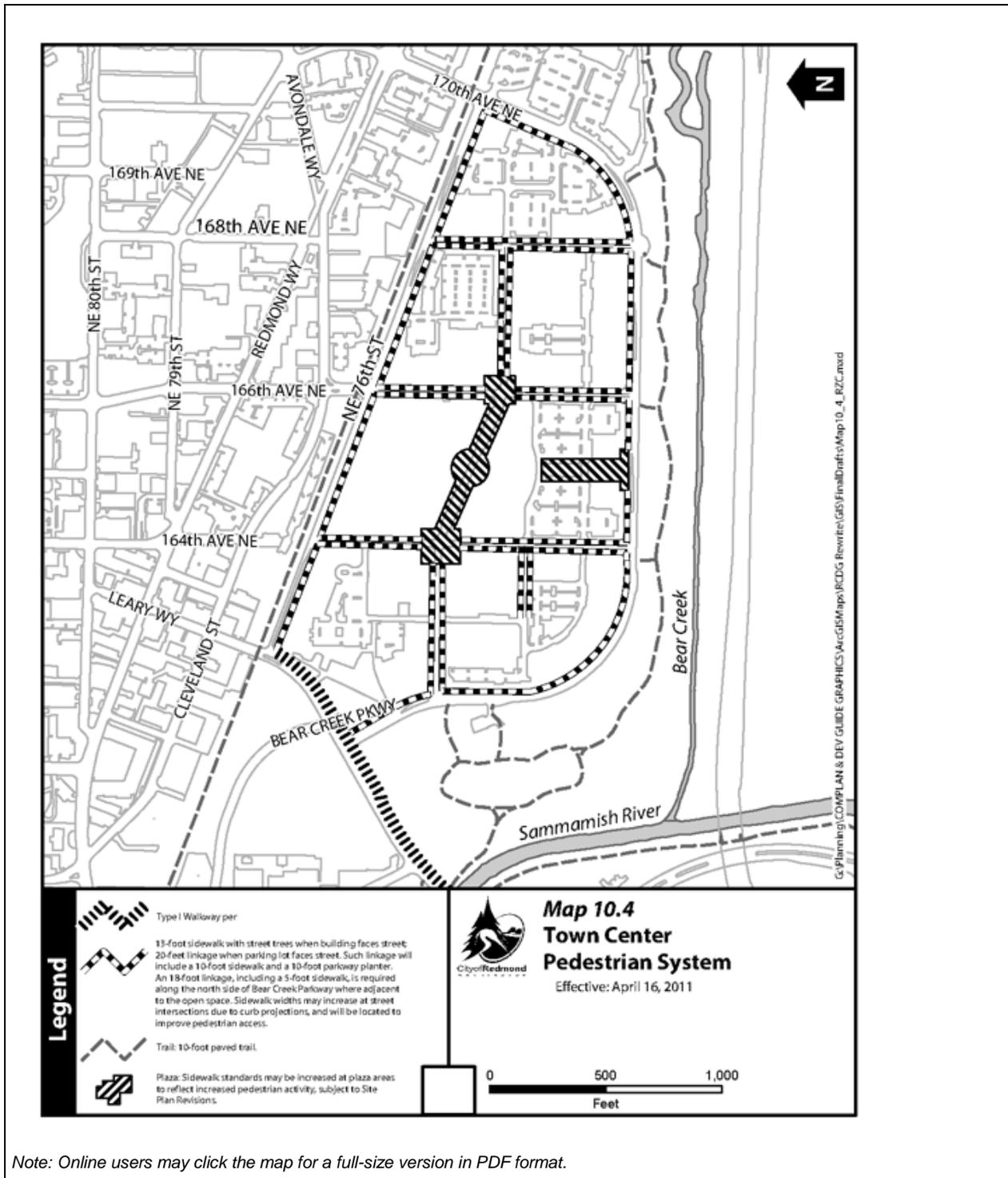


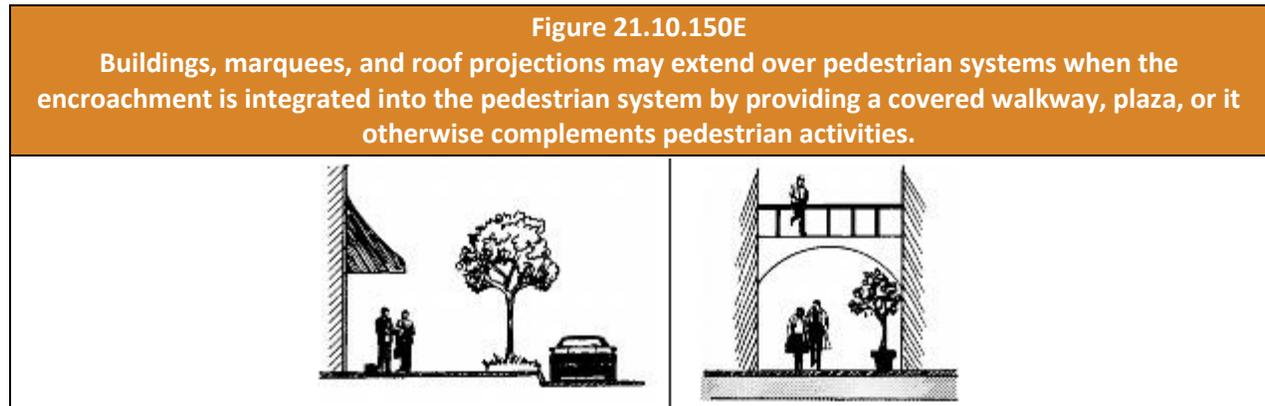
Exhibit B – 3 Amendment to 21.10.150 Pedestrian System (Map)



D. **Easements/Dedications.** Where a pedestrian system walkway exists or is required outside of a public right-of-way, an easement or the dedication to the City of Redmond may be required to provide continuity of the walkway to adjoining property. In case of dedication, residential density shall be calculated based on pre-dedication lot area.

Exhibit B – 3 Amendment to 21.10.150 Pedestrian System (Map)

- E. **Permitted Encroachments.** Upper floors of buildings, marquees, potted plants, awnings, blade signs, and roof projections may extend over the pedestrian system when the encroachment is integrated into the pedestrian system by providing a covered walkway, plaza, or it otherwise complements pedestrian activities. Buildings, marquees, and roof projections may extend over pedestrian systems when the encroachment is integrated into the pedestrian system by providing a covered walkway, plaza, or it otherwise complements pedestrian activities.



- F. **Width Measured from Back of Curb.** Where a pedestrian system adjoins a public street, the system's width shall be measured from the back of the existing or proposed curb.
- G. **Construction Standards.** Construction standards for sidewalks are identified in the City of Redmond's Standard Specifications and Details.
- H. **Driveway Crossings.** Driveways crossing the pedestrian system shall be minimized and joint use of driveways required, when feasible, to separate vehicles and pedestrians. Areas in driveways will not be calculated as part of the area required to be landscaped in the pedestrian system.
- I. **Access to Buildings.** Pedestrian access from the primary building to the pedestrian system along the street shall not be interrupted by vehicular circulation, parking, or other elements that discourage pedestrian use.
- J. **Interior Block Pedestrian System.** Interruptions of mid-block pedestrian systems by vehicular circulation or parking are not permitted.
- K. **Variations Not Meeting Standards.** Variations in the pedestrian system that do not meet minimum standards may be approved by the Technical Committee. Variations may be allowed after consideration of the following factors:
1. Existing right-of-way available to meet standards;
 2. Existing buildings encroaching in linkage area;
 3. Pedestrian and vehicular volumes anticipated;
 4. Existing vegetation;

Exhibit B – 3 Amendment to 21.10.150 Pedestrian System (Map)

5. Disruption of system continuity;
6. Accessibility to buildings.

L. **Street Trees Generally.** Street trees within the Downtown neighborhood shall be provided as noted on the map, Downtown Street Tree Plan, which is on file in the office of the Planning Department. As property is developed or redeveloped, trees shall be installed or otherwise provided for by the property owner/developer. For streets which do not list tree types or spacing requirements, refer to the City of Redmond Street Tree Plan.

M. **Requirements for Street Trees.**

1. Location. Trees shall be spaced on average as noted on the Downtown Street Tree Plan. Trees shall be planted in planter strips where they exist or are required per this section RZC 21.10.150, Pedestrian System. Where sidewalks are required to be contiguous with street curbs, trees shall be planted in irrigated tree wells, with City-approved root barriers, next to the street. Street trees may be grouped in larger planters near the curb, if found more appropriate through the Administrative Design Flexibility process. Street trees that cannot be placed next to the street due to inadequate planter strip width, street furniture, driveways, or utilities shall be planted in the abutting yard area.
2. Street trees shall be planted according to guidelines outlined in [RZC 21.32, Landscaping](#).

N. **Downtown Street Cross Sections.**

1. Guidelines for Application.
 - a. The Technical Committee shall review and approve each component of the street cross section on a project by project basis and has the authority to alter street cross section widths and uses.
 - b. Street cross section widths apply at the middle of the block.
 - i. The widths and existence of each component may vary at intersections, as determined by the Technical Committee.
 - ii. Intersection design shall be based upon the Pedestrian Program Plan and Bicycle System Plan chapters of the TMP; Bicycle Facilities Design Manual; the City's Construction Specifications in RZC Appendix 2, Construction Specification and Design Standards for Streets and Access; and any corridor study adopted by the City Council for the street(s) in question.
 - c. Dedicated right-of-way shall be 60 feet, except in cases where there is more than one general purpose lane going the same direction, wherein the dedicated right-of-way shall be determined by the Technical Committee. Any sidewalk width required by Map 10.3, Downtown Pedestrian System, exceeding the required right-of-way shall be provided through an easement.

Exhibit B – 3 Amendment to 21.10.150 Pedestrian System (Map)

- d. Provisions of medians and left turn lane access shall be determined on a project-by-project basis, based on traffic speeds, volumes, and collision history, and using recognized engineering standards, such as those published by AASHTO, ITE, or other recognized authority.
- e. Utilities, such as power, telephone, and cable, shall be placed under the sidewalk.
- f. When designing multimodal corridors refer to the Modal Integration section of the Transportation Master Plan. Corridors shall support all modes.
- g. See RZC 21.52.030.F, *Required Public Improvements*, to review additional options and requirements.

O. Downtown Streets Cross Sections.

Table 21.10.150B Downtown Streets Cross Sections												
Street	From	To	Southbound/Westbound				Northbound/Eastbound				Mid-Block Right-of-Way Width	Curb-to-Curb Width
			Street									
			On-Street Parking Width	Bike Lane Width	General Purpose Lanes Width	Median / Two Way Left Turn Lane Width	General Purpose Lanes Width	Bike Lanes Width	On-Street Parking Width			
158th Ave NE	NE 85th St	NE 83rd St	8	0	14	0	14	0	8	60	44	
158th Ave NE	NE 83rd St	Redmond Way	18	0	11	0	11	0	8	60	48	
159th Pl NE	Bear Creek Parkway	Leary Way	8	0	11	0	11	0	8	60	38	
160th Ave NE	NE 90th St	NE 85th St	8	0	12	12	12	0	0	60	44	
160th Ave NE	NE 85th St	NE 83rd St	8	0	14	0	14	0	8	60	44	
160th Ave NE	NE 83rd St	Redmond Way	0	0	11	11	11	0	0	60	33	
161st Ave NE	NE 90th St	NE 87th St	0	5.5	11	11	11	5.5	0	60	44	
161st Ave NE	NE 87th St	Redmond Way	0	6	12	12	12	6	8	60	56	
161st Ave NE	Redmond Way	Bear Creek Parkway	8	5.5	12	0	12	5.5	8	60	51	
164th Ave NE/ Red-Wood Rd	NE 90th St	NE 80th St	0	5.5	11	11	11	5.5	0	60	44	
164th Ave NE	NE 80th St	Redmond Way	0	0	12	12	12	0	0	60	36	
164th Ave NE	Redmond Way	NE 76th St	8	0	12	0	12	0	8	60	40	
165th Ave NE	NE 85th St	NE 80th St	8	0	11	0	11	0	8	60	38	
166th Ave NE	NE 85th St	NE 76th St	0	5.5	11	11	11	5.5	0	60	44	

Exhibit B – 3 Amendment to 21.10.150 Pedestrian System (Map)

167th Ave NE	NE 85th St	NE 83rd St	0	0	11	0	11	0	8	60	30
168th Ave NE	NE 80th St	Redmond Way	8	0	14	0	14	0	8	60	44
169th Ave NE	NE 82nd St	NE 79th St	8	0	12	0	12	0	8	60	40
170th Ave NE	NE 80th St	NE 79th St	8	0	11	0	11	0	8	60	38
170th PI NE	NE 80th St	Avondale Way	8	0	11	0	11	0	8	60	38
170th PI NE	Avondale Way	Redmond Way	0	0	11	12	11	0	0	60	34
Leary Way	NE 80th St	Cleveland St	8	0	12	0	12	0	8	60	40
Leary Way	Cleveland St	BNSF	0	0	11	11	11	0	0	60	33
Leary Way	BNSF	Bear Creek Parkway	0	0	12	12	24 (1)	0	0	78	48
Leary Way	Bear Creek Parkway	Sammamish River	0	0	24 (1)	0	24 (1)	0	0	72	48
Avondale Way	NE 80th St	Redmond Way	0	5.5	11	11	22 (1)	5.5	0	70	55
Avondale Way	Redmond Way	NE 76th St	0	0	11	12	11	0	0	60	34
NE 79th St	Redmond Way	168th Ave NE	8	0	12	0	12	0	8	60	40
NE 79th St	168th Ave NE	Avondale Way	8	0	13	0	13	0	8	60	42
NE 80th St	Redmond Way	Leary Way	8	0	14	0	14	0	8	60	44
NE 80th St	Leary Way	164th Ave NE	0	0	20	12	12	0	0	60	44
NE 80th St	164th Ave NE	170th PI NE	8	0	14	0	14	0	8	60	44
NE 83rd St	158th Ave NE	160th Ave NE	8	0	11	0	11	0	20	60	50
NE 83rd St	160th Ave NE	161st Ave NE	20	0	11	0	11	0	8	60	50
NE 83rd St	161st Ave NE	490 feet east of center of 161st Ave NE and NE 83rd Street intersection	12	0	14	0	14	0	12	60	52
NE 83rd St/Transit Center	490 feet east of center of 161st Ave NE and NE 83rd Street intersection	164th Ave NE	0	0	15	12	15	0	0	60	42
NE 83rd St	164th Ave NE	166th Ave NE	8	0	14	0	14	0	8	60	44
NE 83rd St	166th Ave NE	167th Ave NE	8	0	11	0	11	0	0	60	30
NE 85th St	Sammamish River	164th Ave NE	7	5	10.5	11	10.5	5	7	60	56
NE 85th St	164th Ave NE	166th Ave NE	0	5	11	12	11	5	0	60	44
NE 85th St	166th Ave NE	167th Ave NE	8	0	11	0	11	0	0	60	30
NE 87th St	161st Ave NE	164th Ave NE	8	0	16	0	16	0	8	60	48

Exhibit B – 3 Amendment to 21.10.150 Pedestrian System (Map)

NE 90th St	Sammamish River	161st Ave NE	0	5.5	22 (1)	0	22 (1)	5.5	0	82	55
NE 90th St	161st Ave NE	164th Ave NE/ Red-Wood Rd	0	6	12	12	12	6	0	60	48
Redmond Way	Sammamish River	160th Ave NE	0	0	24 (1)	12	24 (1)	0	0	102	60
Redmond Way	160th Ave NE	168th Ave NE	10	0	11	11	11	0	10	60	53
Redmond Way	168th Ave NE	NE 76th St	0	0	26 (1)	24 (2)	26 (1)	0	0	100	76
Cleveland St	Redmond Way	Redmond Way	8	0	11	0	11	0	8	60	38
Bear Creek Parkway	Redmond Way	Leary Way	8	0	11	12	11	0	8	60	42
Bear Creek Parkway	Leary Way	Bear Creek Parkway/170th Ave NE	0	0	11	12	11	0	0	60	34
Bear Creek Parkway	Bear Creek Parkway/170th Ave NE	Redmond Way	0	0	24	12	24	0	0	85	60

1. Width is taken up by two General Purpose lanes.
2. Width is taken up by two turn lanes. Width may define business access and/or right-turn lanes

ARTICLE III DESIGN STANDARDS

RZC 21.62 URBAN CENTER STANDARDS

21.62.020 Downtown Design Standards

C. Development Along Downtown Shorelines and Parks.

1. Intent.

- a. Downtown Park and ~~the~~ the shorelines and associated parklands of the Sammamish River and Bear Creek are assets to the Downtown neighborhood that should be enhanced, enjoyed, and highlighted.
- b. Development and uses along these water bodies and ~~their associated~~ parklands should enhance the natural features and open spaces.
- c. In addition to the design standards established for the individual zones, these criteria shall apply to Downtown properties that are in the Shoreline Jurisdiction and Downtown properties that adjoin parklands that are in the Shoreline Jurisdiction.

2. Design Criteria.

a. Building Orientation and Access.

- i. Development and uses adjoining the Downtown Park, Sammamish River, Bear Creek, and their associated parklands shall provide convenient pedestrian access through the site to these feature, excepting developments and uses lying between NE 83rd Street (if extended) and the BNSF ROW to the south, which shall provide a pathway or walkway between the development and the Sammamish River Trail, unless modified through an approved development agreement where access from the site to the river or creek/parkland is provided.
- ii. Buildings within 100 feet of a property line of a waterway or park, except single-story retail buildings, shall provide building entrances, balconies, or other such building features or site features (for example: plazas or pedestrian features) on the facade fronting waterways or parks to allow users of the buildings to interrelate with the waterway or park.
- iii. Buildings next to trails and walkways along waterways and parks shall incorporate pedestrian-scaled/friendly architectural features on the facades facing the trails/pathways.

Exhibit B – 4 Amendment to 21.62.020 Downtown Design Standards

b. Site and Building Design.

- i. Where a site adjoins a park, the development shall complement the park with connecting features, such as landscaping, plazas, and other pedestrian features.
- ii. Parking facilities next to parks and waterways shall be screened by natural-looking landscape buffers with tall trees and understory vegetation between the parking facilities and the parks or shoreline. Planter widths for these screening buffer areas shall be no less than 30 feet wide to accommodate the plant materials in a natural-looking planting pattern.
- iii. When surface stormwater facilities are placed near the shorelines and parks, they shall be designed to include naturally occurring ponds and amenities rather than barriers between the use and the shoreline or park.
- iv. Building height is encouraged to be modulated on sites next to shorelines and ~~their associated~~ parks, with lower portions of buildings being adjacent to the trails/parks and taller portions being beyond the Shoreline Jurisdiction and park edge.

REDMOND ZONING CODE: ARTICLE III DESIGN STANDARDS

RZC 21.62 URBAN CENTER STANDARDS

21.62.020 Downtown Design Standards

{New Code} M. Old Town Historic Core Overlay

1. Purpose.

The purpose of this section is to establish supplemental design criteria for properties in the Old Town Historic Core Overlay that will guide development to:

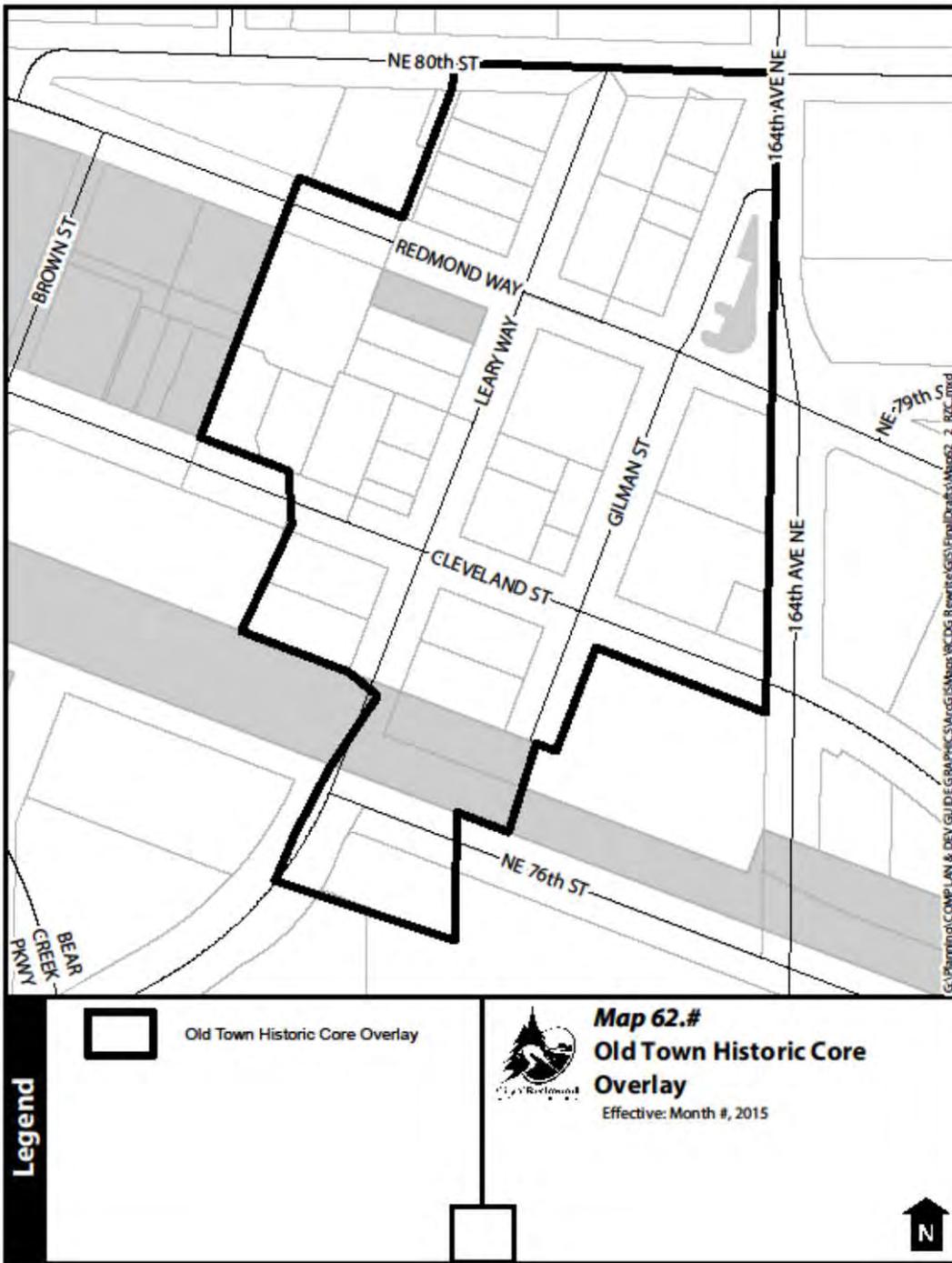
- A. Ensure a complementary transition between historic and modern structures;
- B. Implement the vision for this area as set out in the Comprehensive Plan; and
- C. Support the Core's historic character.

2. Applicability.

All projects within the Historic Core Overlay shall adhere to the standards in RZC 21.60, Citywide Design Standards, as well as the supplemental design standards identified below. If the Citywide and Historic Core Overlay standards conflict, the Historic Core Overlay standards shall prevail.

The supplemental design standards do not apply to properties that have been listed in Redmond Zoning Code, Appendix 5. Redmond Heritage Resource Register or designated as a Historic Landmark, provided that the listing and/or designation continue to apply.

3. Historic Core Overlay Map.



4. Architectural and Design Character.

A. Historic Core Overlay Architectural and Design Character. The following describes the architectural and design character found within the Historic Core Overlay. The design elements depicted here also illustrate treatments for reference when implementing architecture and design that is respectful of historic structures in the overlay. Respectful architecture and design shows sensitivity to these treatments while incorporating and innovating with modern forms.

B. Timeless Architecture and Design. Timeless architecture and design demonstrates the following:

1. Strong likelihood of relevancy over many generations.
2. Utilitarian by responding to the intended function of the building such as commercial, office, or residential uses.
3. Strong relationship to natural elements such as solar, precipitation, and temperature.
4. Responsive to and incorporates the weathering process.
5. Demonstrates human-scale proportions in which the setting or environment (building, entry, ceiling height) relates closely and predominantly to human dimensions.
6. Graceful siting in location.

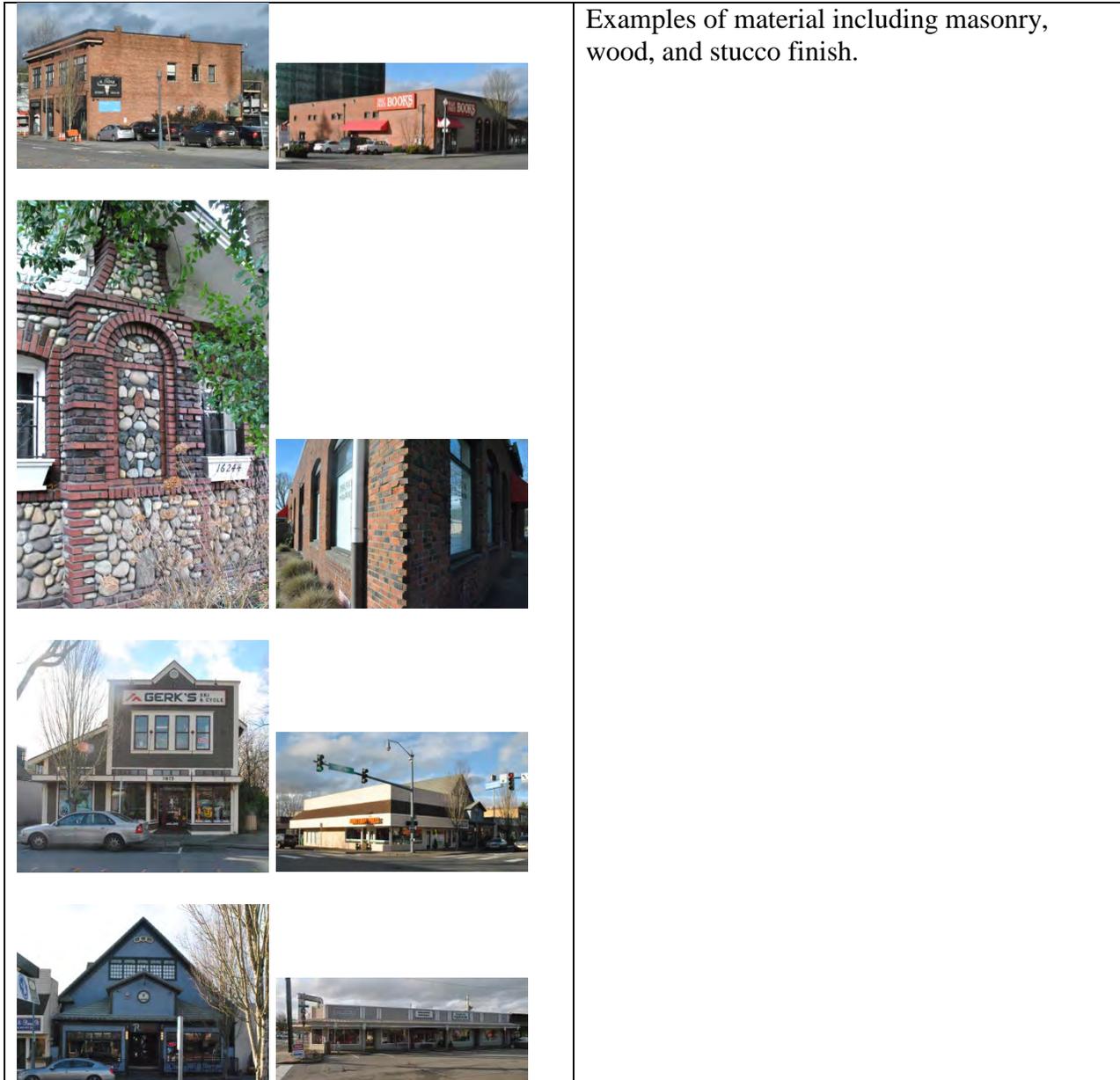
C. Photographic Examples of Historic Core Overlay Architectural and Design Character.

	<p>Examples of storefront and entry treatments.</p>
	

Exhibit B – 5 New Section 21.62.020.M Old Town Historic Core Overlay

	<p>Examples of window treatments.</p>
	<p>Example of architectural and design elements at the building cap.</p>

Exhibit B – 5 New Section 21.62.020.M Old Town Historic Core Overlay



5. General.

A. Building Form and Scale {to be provided}.

1. Intent. To ensure that building form and scale complement the character of the Old Town Historic Core by:
 - a. Maintaining the pedestrian orientation and human scale of the Historic Core;
 - b. Respecting historic and landmark structures within the Historic Core; and
 - c. Incorporating architectural and design treatments that address additional height in order to avoid the appearance of bulk.

B. Design Criteria.

Exhibit B – 5 New Section 21.62.020.M Old Town Historic Core Overlay

1. No portion of the building or its structural elements, including above and below grade, shall extend past the property line. Temporary, removable awnings and utilities are exempt from this section.

C. Illustrations and Figures.

D. Appropriate Implementation.

	<p>This image demonstrates a setback above the building base that is then activated for public or private use. Vegetation, as shown here, is an appropriate treatment for enhancing the human scale of development, for a sequential pedestrian experience, and for transitioning between stories.</p>
	<p>Human or pedestrian-scale architecture is demonstrated here along the first and second stories. Finer and additional details of design, architectural emphasis, and sculpture at the building base can provide for connection with the pedestrian versus the design approach used at the building cap, as shown here.</p>

E. Inappropriate Implementation.

F. Building Material.

1. Intent. To ensure that materials used on the exterior of new construction:

Exhibit B – 5 New Section 21.62.020.M Old Town Historic Core Overlay

- a. Reflect the time period when the individual structure was built and create a sense of timelessness through the use of high quality material;
 - b. Complement materials used on historic and landmark structures;
 - c. Achieve visual interest and distinctive architecture and design, and emphasize tripartite form; and
 - d. Support a comfortable, consistent and engaging pedestrian experience along the street front.
2. Design Criteria.
- a. Buildings shall incorporate distinctive masonry over at least 60 percent of the exterior and use a variety of materials over the remainder of the building that are similar in appearance to material used on historic and landmark structures in the overlay.
 - i. Distinctive masonry incorporates a variety of classifications of brick, stone, tile, and concrete; uses a variety of textures, positioning, bonds, and joints; and incorporates unique sculptural elements and finishes.
 - ii. Distinctive masonry avoids the use of institutional brick that is flat, solid color, and uniform in pattern; and when applied as brick, shall incorporate those with texture and color variation for visual interest.
 - b. Use of reclaimed and repurposed, historic and traditional material is encouraged. This includes brick, stucco that is used in the Art Deco style, wood, and stone. Other material including marble and metal, may also be used, such as for providing visual interest.
 - c. Use of material, other than material listed in a. and b. in this section, over the building's exterior and for visual interest will be considered on a case-by-case basis. If used, the materials shall appear similar in character to those used on historic structures located within the Historic Core Overlay and shall demonstrate timeless character and exemplary design sympathetic to historic structures within the overlay. For example, stucco or cast stone shall be detailed to provide a human scale and architectural interest.
 - d. Buildings shall not use the following materials which are inappropriate for the Historic Core Overlay: exposed/unfinished concrete, corrugated metal, mirrored glass or vinyl siding.
 - e. Preferred colors are those that reflect the historic patterns of the overlay; however, other colors will be allowed particularly on non-historic structures if they are complementary to surrounding structures and do not detract from the prominence of historic buildings in the overlay.
 - f. Where appropriate, buildings should use the natural color of materials such as brick, stone, tile and stained wood. Color that is applied, such as paints and coatings, should be muted with the exception of doors, which historically were more distinct or vivid to celebrate the entries.

- g. Details, such as parapets and bands, windowsills, and door frames, shall consist of contrasting materials or color to enhance detail.

3. Illustrations and Figures.

 <p>Use of columns and pilasters can enhance door detail. Use of such details as pediments or architraves for doors is also encouraged.</p> <p>Transoms above doors and use of decorative glass are details that can enhance historic character.</p>	<p>Illustration of material and treatments that are similar in appearance to material and treatments used on historic and landmark structures in the overlay.</p>
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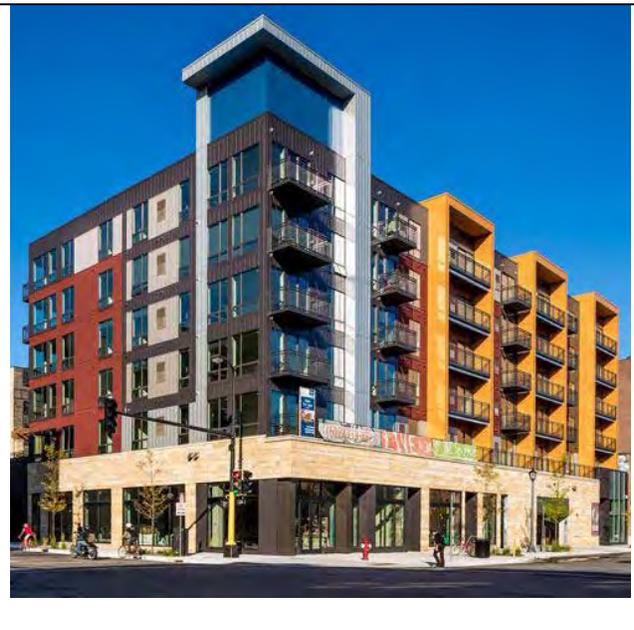
4. Appropriate Implementation.

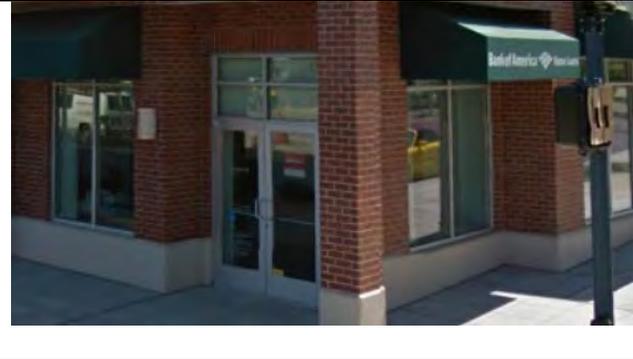
	<p>Use of masonry across majority of structure and an emphasis on high quality, distinction, and timelessness. This structure includes design elements that translate easily to the early-1900 time period as well as the early-2000 time period. For example, the stringcourse, lintels, and sills are sympathetic to the historic period while the parapet reflects current architectural forms.</p>
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Exhibit B – 5 New Section 21.62.020.M Old Town Historic Core Overlay

	<p>Modern interpretation of historic architecture and design, complemented through the use of masonry across a majority of the structure. Though clearly a modern interpretation of early-1900 architecture, this design demonstrates a character that is timeless and sympathetic to historic structures within the overlay.</p>
	<p>Distinctive masonry incorporates high classifications of brick, stone, tile, and concrete; uses a variety of positioning, bonds, and joints; and incorporates unique sculptural elements and finishes.</p>

5. Inappropriate Implementation.

	<p>While innovative, the use of modern material such as corrugated metal across a majority of the structure does not demonstrate design sympathetic to historic structures within the Historic Core Overlay. Historic structures within the overlay are constructed of brick, wood, stone, and other masonry.</p>
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	<p>This concept design demonstrates the use of metal and glazing across the structure. This treatment would not be appropriate due to the absence of masonry and other material that is complementary to historic structures within the Historic Core Overlay.</p>
	<p>Distinctive masonry is absent in this image. For example, the plinth is unfinished concrete and brick masonry is standardized in a single type, position, and bond over the building base.</p>

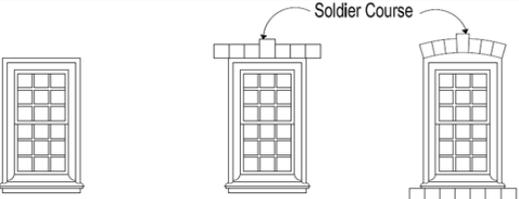
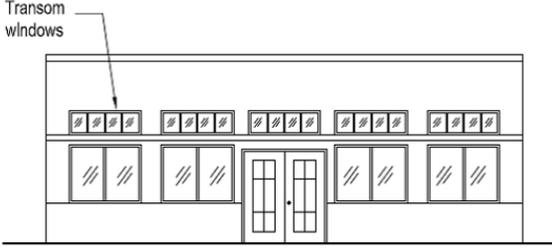
G. Windows.

1. Intent. To ensure that windows:
 - a. Demonstrate distinctive, high quality and timeless architecture and design;
 - b. Are complementary in character to historic and landmark structures within the Historic Core Overlay; and
 - c. Support an engaging pedestrian experience along the street front by fostering a connection between pedestrians on the sidewalk and the interior of the ground floor.
2. Design Criteria.
 - a. Window and door cases shall be designed with depth and visual relief from the exterior wall, and shall be punched or recessed into the structure.
 - b. Large expanses or strips of glass shall be broken up with mullions or other devices to help give the building a more identifiable scale and rhythm.
 - c. Windows shall be designed with use of wood, similar looking materials, or other natural material for casing, muntins, sashes, sill, lintel, mullions and similar features, to provide depth and texture similar in appearance to historic wood windows. Architectural detailing at window jambs, sills, and heads shall be provided.

Exhibit B – 5 New Section 21.62.020.M Old Town Historic Core Overlay

- d. Windows shall be similar to those used on historic and landmark structures within the overlay through their proportions, orientation, and along the building base, the use of transom windows.
- e. Details, such as soldier course or solid lintels and sills, shall be used around windows in brick and stone structures.
- f. Design approach for windows and doors shall vary across the horizontal and vertical building exterior and shall include primarily glass doors and sidelights.

3. Illustrations and Figures.

 <p>Multi-paned windows such as these are preferred.</p> <p>Sash window such as these are preferred.</p> <p>details such as sills are required in brick buildings.</p>	<p>Illustration of window treatment that maintains character similar to that used on historic structures within the overlay.</p>
 <p>Transom windows</p> <p>Window shall not start at floor level. This illustration shows a typical starting point for many historic buildings.</p>	<p>{this illustration to be replaced to reflect the scale of newer development}</p> <p>Illustration of window orientation and use of transoms along the building base.</p>

4. Appropriate Implementation.

	<p>The percentage, distribution, orientation, depth, and treatment of windows are appropriate. Percentage is measured across the horizontal length of the building wall and in this example, demonstrates 90 percent use of transparency. The windows are distributed at regular intervals based on bays edged with pilasters at the building base. Windows, though generally horizontal, are broken with mullions, saddle bars, stanchions, and transoms that provide for vertical orientation and are recessed into the structure. Windows are also edged with a sill and lintel.</p>
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Exhibit B – 5 New Section 21.62.020.M Old Town Historic Core Overlay



The extension to the structure shows appropriate window orientation, rhythm, and surrounding trim. The design approach for windows varies across the vertical façade.



The design approach for windows varies across the horizontal and vertical façade.



This modern entryway featuring a glass door and sidelights demonstrates compatibility with historic structures within the Historic Core Overlay.

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5. Inappropriate Implementation.



Windows are set flush with the exterior wall, oriented in a horizontal manner, and absent of distinctive trim or other design elements.



Large expanses and strips of glass and the absence of mullions make this window treatment inappropriate for the Historic Core Overlay.

H. Corners.

1. Intent. To ensure that buildings on corner lots:
 - a. Reinforce and celebrate the street corner;
 - b. Use distinctive architecture, design, and material;
 - c. Serve as prominent gateways between the sidewalk and the building's interior; and
 - d. Strengthen articulation and modulation across the structure, facilitating a softening of the building's mass.
2. Design Criteria.
 - a. Pedestrian entrances to developments located on the corner lots shown on Map 62.2 shall utilize or orient toward the street corner and shall incorporate architectural and design treatments to support pedestrian activity.
 - b. Entries should be recessed and should include glass doors and sidelights.

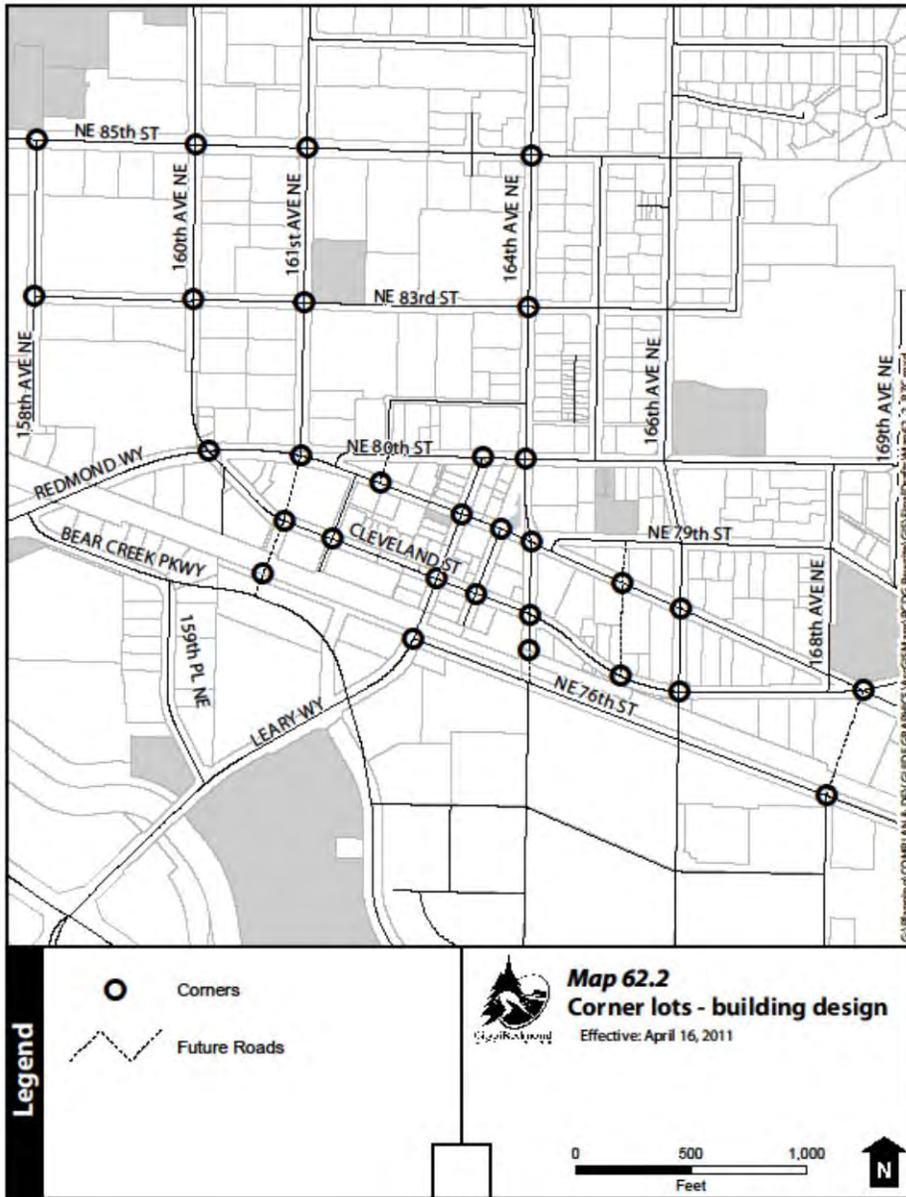
Exhibit B – 5 New Section 21.62.020.M Old Town Historic Core Overlay

- c. Entries shall emphasize the pedestrian experience and include treatments and amenities such as artwork, plazas, canopies and benches.
- d. Building façades on corner lots shall be designed to connect with pedestrians at both street frontages.
- e. Architectural detailing, cornice work, frieze design or other elements shall be incorporated into buildings on corner lots.
- f. Buildings on corner lots may emphasize the building middle through curved walls or turrets, window treatments or signage.

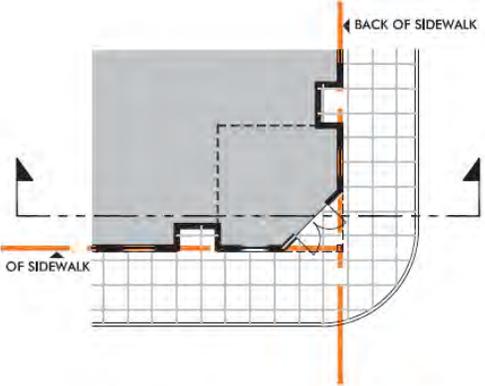
Exhibit B – 5 New Section 21.62.020.M Old Town Historic Core Overlay

3. Corner Lots Map.

- a. The purpose of this section is to maintain the implementation of corner architecture and design treatments as defined by Map 62.2 Corner Lots – Building Design, also found in RZC 21.62.020.D Corner Lots - Building Design.



4. Illustrations and Figures.

 <p>← BACK OF SIDEWALK</p> <p>OF SIDEWALK</p> <p>SPECIAL CORNER TREATMENT - PLAN VIEW</p>	<p>This illustration demonstrates an example of an appropriate corner treatment that orients toward the street corner and supports pedestrian activity on the two street frontages.</p>

5. Appropriate Implementation.

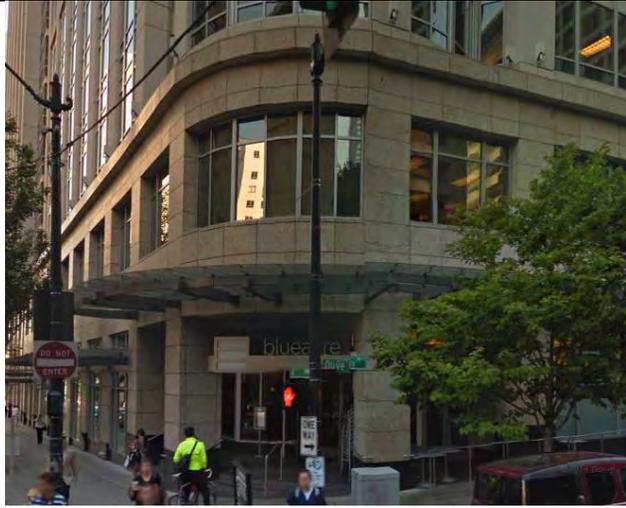
	<p>Emphasizes an entryway by rounding the corner, recessing the entrance, featuring a large percentage of glazing as well as distinctive building columns and high quality material. In this case, the Building Base is finished with stone tile.</p>
	<p>Differentiation that emphasizes corner and building entrance.</p>

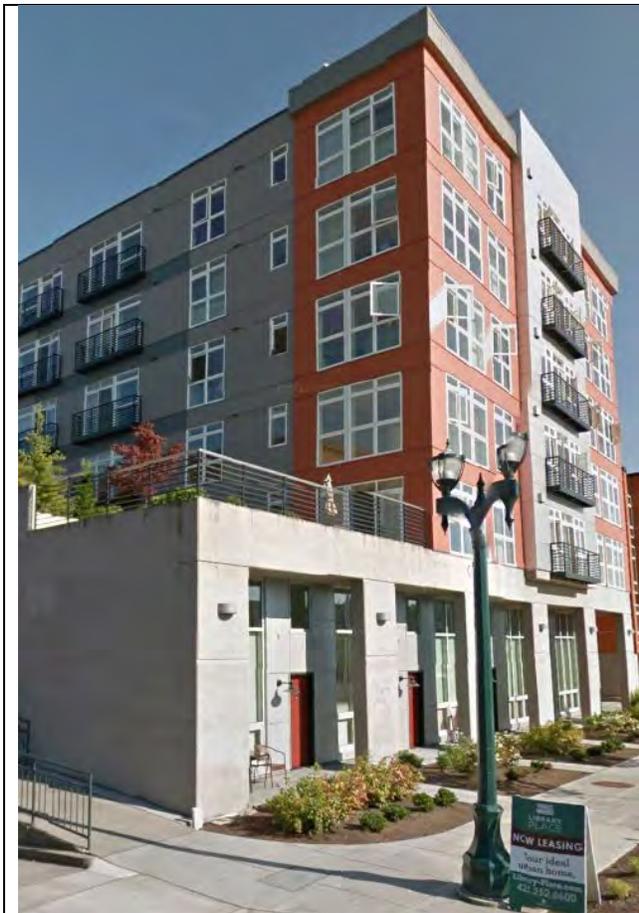
Exhibit B – 5 New Section 21.62.020.M Old Town Historic Core Overlay

	<p>Modern interpretation of corner that is sympathetic to designs and treatments used on historic structures within the overlay. Demonstrated here is the use of an architectural and timeless chamfer for emphasizing the building corner, decorative columns, recessed windows, tripartite architecture and design, and the use of decorative stringcourse above the building base and entablature at the building cap.</p>
	<p>This corner treatment demonstrates recessing the entrance and connection with the pedestrian at the two street frontages.</p>
	<p>This image shows an additional approach for slightly recessing the entrance and connecting with the pedestrian at the two street frontages. This corner treatment uses architectural and design elements to emphasize the building base and differentiate the corner from the street façade.</p>



This image demonstrates a strong connection with the pedestrian at the two street frontages and appropriate use of curved walls, window treatments, signage, and other architectural and design elements in emphasizing the building base and middle.

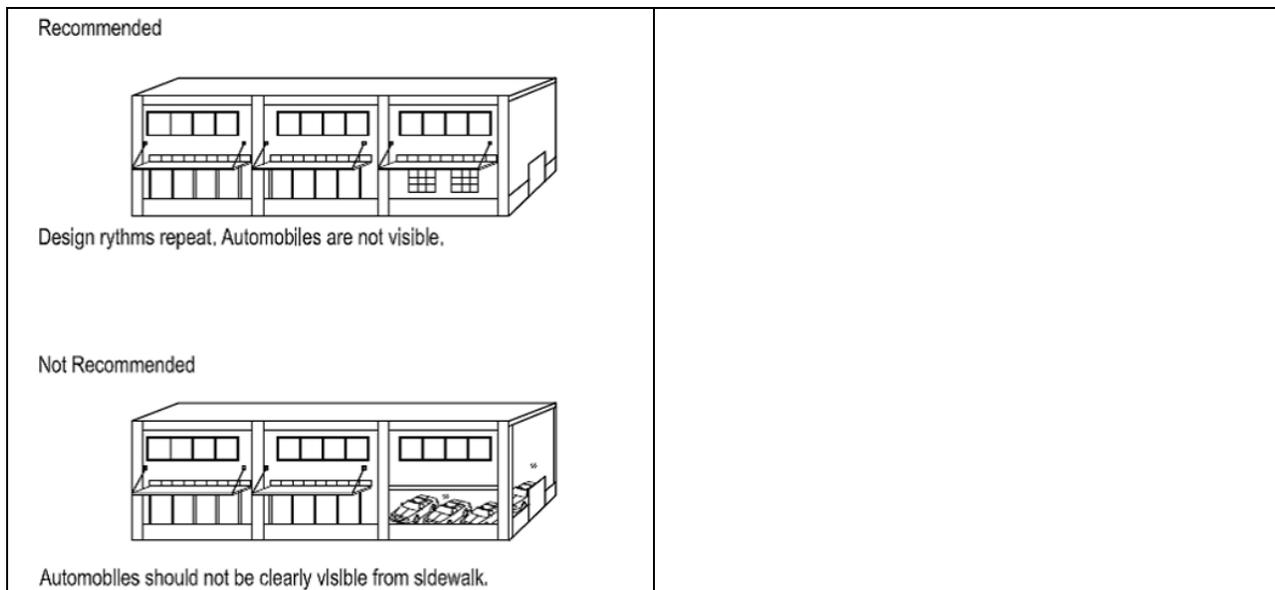
6. Inappropriate Implementation.



The absence of corner definition and blank wall make this inappropriate for the Historic Core Overlay.

I. Structured Parking.

1. Intent. To maintain the character of the Historic Core Overlay and to foster an engaging pedestrian experience along the building base.
2. Design Criteria.
 - a. Structured parking shall not front along the sidewalk edge or pedestrian corridors, except to allow placement of parking entrances.
 - b. Structured parking shall be located either underground, in the back of the building, or internal to the building such as in a wrapped configuration fronted on the ground floor by commercial uses.
3. Illustrations and Figures.



6. Tripartite Architecture and Design.

- A. Intent. To promote architecture and design that strengthens the unique character and sense of distinction in the Historic Core Overlay by:

Exhibit B – 5 New Section 21.62.020.M Old Town Historic Core Overlay

1. Fostering visual interest and a variety of opportunities for pedestrian engagement;
2. Implementing high quality and timeless designs that are similar in concept, detail, and finishing to historic landmark structures located within the Overlay;
3. Visibly anchoring and completing buildings; and
4. Maintaining architectural and design collaboration across the building surface, ensuring authenticity and complementary patterns.

B. Building Components:

1. Design Criteria.

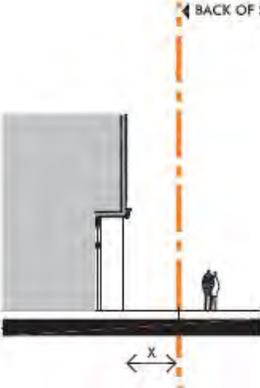
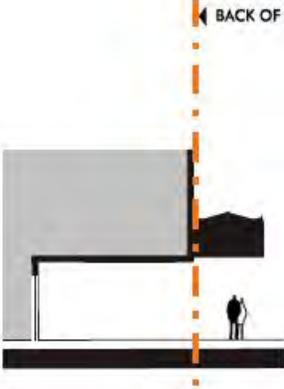
- a. Provide a strong distinction between the three portions of buildings, measured along all building sides;
 - i. Building Base: The entire lowermost floor or two floors of the building shall be designated as the “Building Base”, and shall be visibly articulated to aesthetically anchor the building to the ground;
 - ii. Building Cap: The entire uppermost floor or two floors of the building shall be designated as the “Building Cap”, and shall be visibly articulated to aesthetically complete the building; and
 - iii. Building Middle: The remainder of the building shall be known as the “Building Middle”.

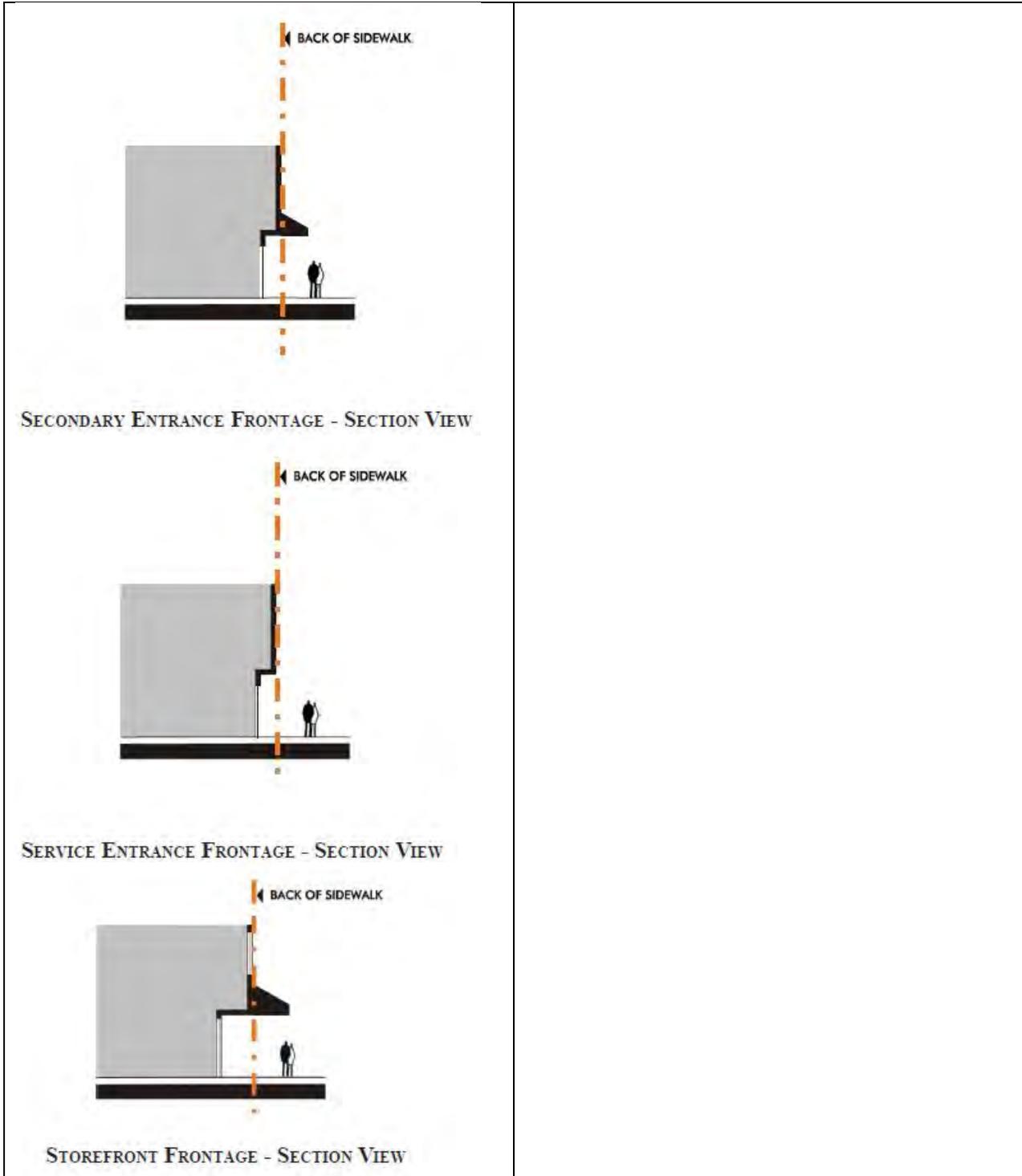
C. Building Base.

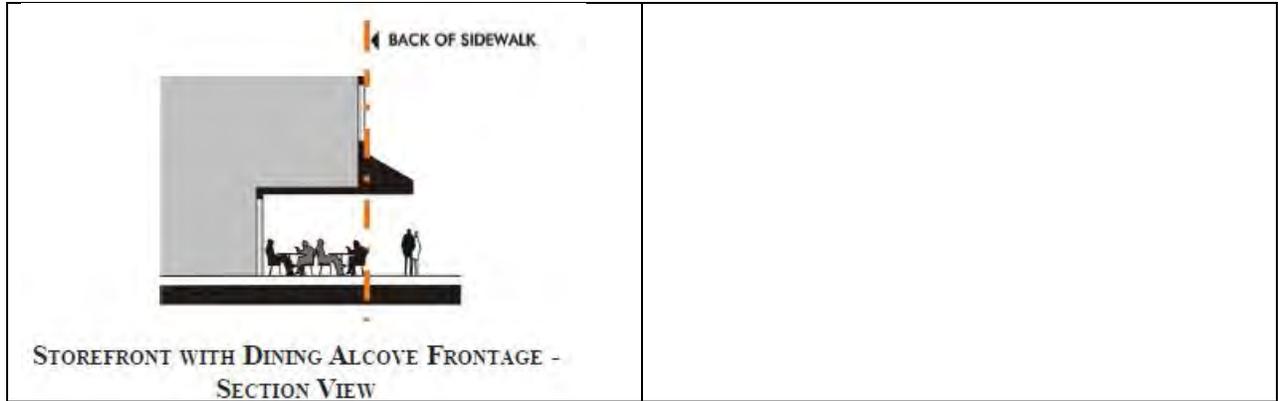
1. Intent: To anchor the building to the ground and engage the pedestrian through the building’s architecture and design elements.
2. Design Criteria.
 - a. Building Material and Treatment.
 - i. Distinctive treatments and materials shall be used to define the building’s plinth and/or bulkhead. The material shall establish a visible widening to the building walls immediately at the sidewalk elevation and extend to no more than two feet above grade. Material and color change shall be suitable.
 - ii. Distinctive treatments and materials shall be used to define the building’s kickplate. The material shall establish a differentiation above the plinth or bulkhead, at the exterior walls that face pedestrian corridors including sidewalks. Material and color change shall be suitable.
 - iii. The Building Base shall be respectful of those landmark structures found in the overlay, such as the Bill Brown Building, Old Redmond State Bank, and Lodge Hall. Building Base shall include masonry.
 - iv. Material shall be consistent with RZC 21.62.020.M.5.F. Building Material.
 - b. Windows.

- i. The building base, when adjacent to pedestrian-oriented streets and pathways (see RZC map) shall be highly transparent.
 - ii. Windows of clear vision glass shall begin no lower than six inches above grade, no higher than two feet above grade, and shall extend to at least 10 feet above grade.
 1. Large windows shall showcase storefront displays to increase pedestrian interest.
 2. Windows shall extend across a minimum of 75 percent of the horizontal length of the building's exterior wall.
 3. Avoid continuous window walls by providing architectural building treatments such as mullions, building modulation, entry doors, and/or columns at intervals consistent with the historic structures in the overlay.
- c. Entry.
- i. A variety of private frontage types, illustrated below, shall be incorporated into the Building Base to strengthen the building's architectural distinction, context, and pedestrian's experience. Entry types for providing variety include storefronts, storefronts with dining alcoves, grand marquees, porticos, common and secondary entries.
 - ii. Private frontage types shall be recessed from the back of sidewalk and shall not project into or over the back of sidewalk.
 - iii. Service entries may be used to provide access to interior garages, service and utility areas, or other secondary or emergency access.
 - iv. Building entries, which are similar in scale and overall character to those seen historically, are encouraged.
 - v. Elements such as lighting, trellises, canopies, signage, and design or sculpted elements shall be used to clearly identify and enhance the building entry, particularly when the building is located on a corner.
- d. Sequential Pedestrian Experience.
- i. The Building Base shall be differentiated along the building's horizontal, exterior length as follows by variation in material, modulation, wall penetrations such as windows and doors, architectural and design treatments such as distinctive columns and pilaster, and artistic elements:
 1. Every 15 feet to 50 feet—minor changes such as a door and window treatment, variation in material, use of accent material, modulation, or change of storefront.
 2. Every 100 feet to 150 feet—moderate changes such as use of artistic and unique elements, distinctive columns and pilasters, interpretive and wayfinding signage, or a secondary entrance.

3. Every 200 feet or at building corner—significant changes defined through distinctive corner treatments including alcoves or angled storefronts, grand architectural and design treatments such as columns and sculptural and ornamental elements, or enhanced visibility through the building accenting the interior use and providing views through the building from a sidewalk to the intersecting sidewalk.
 - ii. The Building Base shall include distinctive design, details, and elements.
 1. Design, details, and elements should be unique to the structure and reflect the overall character of the structure, be respectful of historic structures within the overlay, and provide opportunity for enhancing the vegetated aspect of the district.
 2. These elements shall complement and contribute to the differentiation along the Building Base—horizontal, exterior length.
 3. Awnings shall be provided to support year-round weather protection and allow for removal as requested by the City such as for sidewalk and utility maintenance. Awnings may project over the sidewalk.
 - iii. Informal gathering places should be created and shall be consistent and integrated with the streetscape through design and amenities such as by using complementary surface material, seating, pedestrian-scale lighting, and wayfinding signage.
 - iv. Permanent public seating, when provided, shall be located within the parcel. Temporary or movable public seating may extend into the first two feet of the sidewalk, measured from the parcel boundary.
 - v. The use of potted plants and flowers as well as street trees is encouraged provided pedestrian access is maintained.
 - vi. The height and design of street lighting should relate in scale to the historic character of the area. The design of the light standards and luminaires should enhance a historic theme.
3. Illustrations and Figures.

 <p>COMMON ENTRY FRONTAGE - SECTION VIEW</p>  <p>GRAND MARQUEE FRONTAGE - SECTION VIEW</p>  <p>GRAND PORTICO FRONTAGE - SECTION VIEW</p>	<p>Entry types that are appropriate for the Building Base.</p>
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4. Appropriate Implementation.

	<p>Variety across the Building Base allows for pedestrian engagement.</p>
	<p>This image demonstrates a variety of entry treatments.</p>
	<p>This image demonstrates a variety of entry treatments, high percentage of transparency along the Building Base, and effective treatment for a sequential pedestrian experience.</p>
	<p>This Building Base includes a variety of opportunities for pedestrian engagement while maintaining authentic character across the building's entire exterior wall length and context of the area. Authenticity implies that the architecture and design elements, while varying, also accentuate, work together and complement the underlying design of the overall structure.</p>

5. Inappropriate Implementation.

	<p>This Building Base loses its authenticity across its horizontal, exterior wall length and does not meet the transparency standard. Authenticity is lost through the effort to create an illusion of four different structures within one building envelope. In this example, the only design element that carries across the whole of the building is the color tone.</p>
	<p>Though the architecture and design of this building reflects historic character, the Building Base is absent of opportunities to engage the pedestrians and its strict rhythm are inappropriate for the Historic Core Overlay. Elements of change such as in material, color, design, vegetation and art can help reduce strict rhythm and provide opportunities for the pedestrian to engage with the architecture, design, and with interior businesses.</p>

D. Building Middle.

1. Intent. To demonstrate architectural and design distinction, emphasize a rhythm, and soften the mass.
2. Design Criteria.
 - a. Building Material.
 - i. The Building Middle shall be aesthetically distinct, fit within the context of the structure, and respectful of historic structures in the Historic Core overlay.
 - ii. Architectural and design treatments shall avoid overly repetitive patterns and blank walls, and shall include any combination of the following: stepbacks with cornice, string course, or other architectural detail similar to elements found in the overlay.
 - iii. Architectural rhythm, particularly across the Building Middle, shall be established through identifiable surface patterns, decoration, and the pace of spatial progressions. In the context of the building, rhythm shall be combined with scale or the size and massing of the building, to achieve overall architecture and design that defines and establishes the uniqueness of the building.
 - iv. Material shall meet RZC 21.62.020.M.5.F Building Material.

b. Windows.

i. The Building Middle shall incorporate design consistent with the Historic Core character:

1. Windows shall be composed only of clear vision glass;
2. The horizontal length of the building's exterior wall shall include windows, entryways, or other transparencies at least every 40 linear feet; and
3. The Building Middle shall not include treatments of continuous transparency such as "ribbon windows" (continuous horizontal bands of glass) or "window walls" (glass over the entire surface).

3. Illustrations and Figures.

To be provided	

4. Appropriate Implementation.



Distinction, quality material, character, rhythm and variety across the Building Middle.

Exhibit B – 5 New Section 21.62.020.M Old Town Historic Core Overlay



Modern interpretation of rhythm and character across the Building Middle. While this example shows several appropriate aspects of architectural and design that are sympathetic to the historic structures located within the Historic Core Overlay, this structure is absent of vertical variation such as stepbacks and horizontal variation that could include private decks and associated entries.



Variety across the Building Middle through use of decks, wrapping, and architectural and design elements helps address blank walls and repetitive patterns. These elements help break up expansive surface areas that have potential for contributing to massing.

5. Inappropriate Implementation.



The absence of depth and distinctive material makes this inappropriate for the Historic Core Overlay.



Though the rhythm of this Building Middle is easily observed, the absence of window treatment and vertical variations makes this inappropriate for the Historic Core Overlay.

E. Building Cap.

1. Intent. To define an ending to the building top, ensure the use of distinctive and high quality architectural and design elements, and provide unique character to the structure.
2. Design Criteria.
 - a. Material.
 - i. The Building Cap shall be aesthetically distinct and fit within the context of the structure and Historic Core Overlay.
 - ii. Color, material change, sculptured elements, or any combination of these may be used to physically differentiate and emphasize the termination of the Building Cap. Treatments shall include any combination of the following: pediment, cornice, frieze, and architrave.
 - b. Design.
 - i. Rooftop plazas and gardens are encouraged for the use of the building's occupants and guests and shall be located behind the architectural and design features that define the termination of the Building Cap.
 - ii. Shed-style and pitched roofs shall be avoided.
 1. No more than 15 percent of the roof may be sloped to allow for solar access.
 2. The sloped portion of the roof shall be located behind and screened by the building's parapet or other roof feature.
 3. Low-profile solar devices shall be located so that they are not visible from the public right of way. For example, solar devices may be installed on a flat roof and set back to take advantage of a parapet or other roof feature that screens solar panels from view; or on a secondary slope of a roof, out of view from the public right of way.

3. Illustrations and Figures.

To be provided	

4. Appropriate Implementation.

	<p>Decorative cornice.</p>
	<p>Decorative cornice, complementary to window and corner treatments.</p>
	<p>Distinctive cornice in combination with shade treatment.</p>

5. Inappropriate Implementation.

	<p>Modern Building Cap that is absent of character that complements the historic structures located within the Historic Core Overlay.</p>
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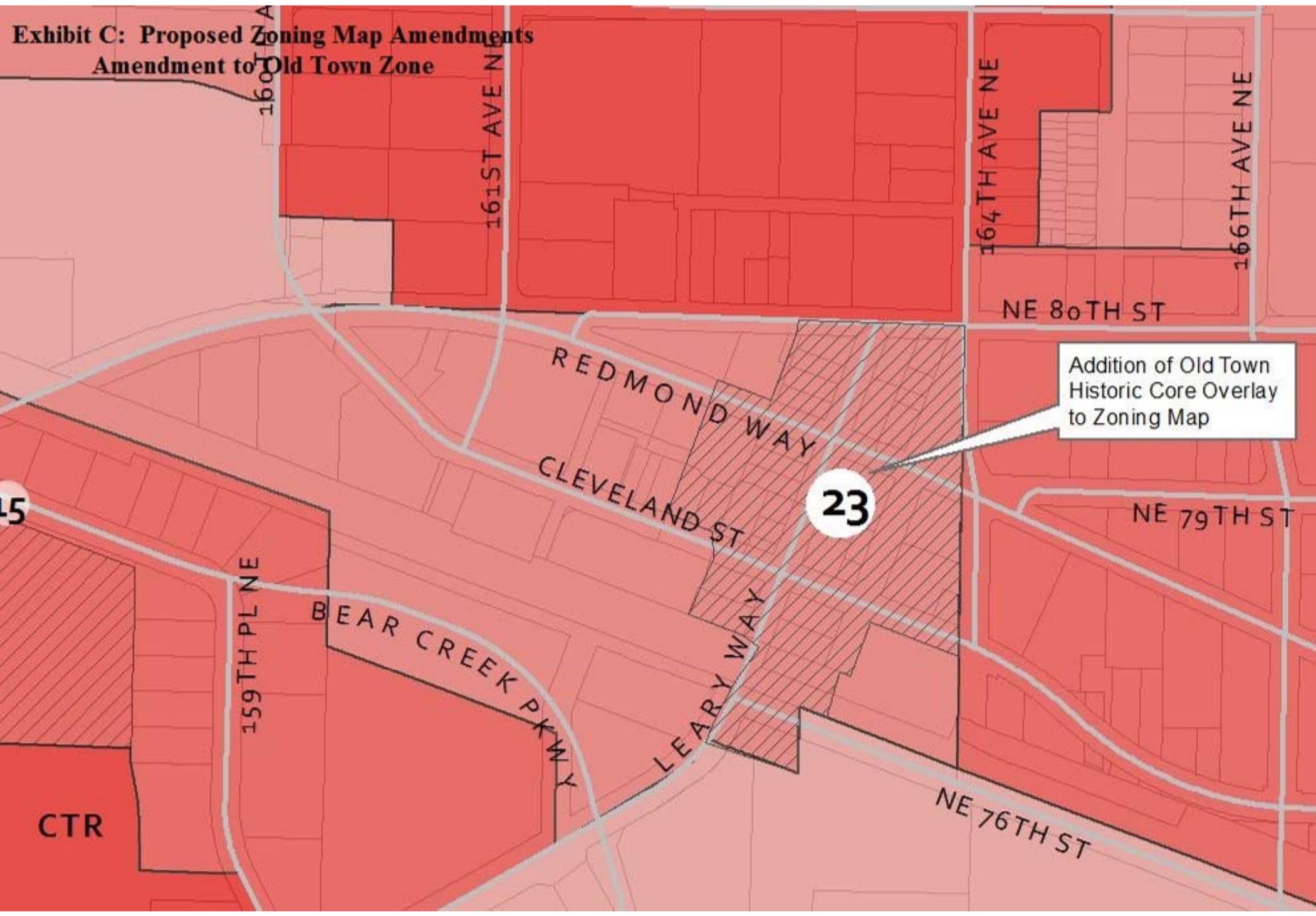
Cantilevered or extended roof and modern Building Caps that are inappropriate within the Historic Core Overlay.

21.44.020 Signs

E. General Sign Design Standards

1. Purpose. This section provides basic design guidance for all signs, regardless of specific type or location within the community. The guidelines address issues related sign legibility, placement on the facade, color and materials, and effective illumination.
2. Sign Compatibility.
 - a. In a multi-tenant complex, no sign shall dominate the façade, unless the business it advertises is designated a major or anchor tenant by the property owner due to the size of the tenant space as compared with the other tenant spaces.
 - b. Signs shall be designed to be consistent with the building design in terms of relative scale and overall size.
 - c. Signs should complement and not detract from the materials, and colors of the building to which they will be attached.
 - d. All signs should enhance and not detract from the building’s architectural design. Signs should reflect the character of the building.
 - e. Signs shall not obscure or cover architectural features of the building.
 - f. For ~~historic landmarks and~~ the Old Town zone, signs should be consistent with the historic character ~~of the landmark and/or~~ zone. Preferred signage in the Old Town zone includes window signage, painted signage on wooden facades, wood signs, signs on awnings, signs lit by sources other than the sign itself, or decorative signs hung perpendicular to the building façade are encouraged. Wood facsimile products may be an acceptable substitute. Use of backlit plastic wall signs, extruded aluminum, changing message, or other newer technology signs should not be allowed. Use of neon signs should be limited to window signs or art deco styled buildings.
 - g. For the Old Town Historic Core Overlay, signs shall be consistent with the historic character of the overlay. Preferred signage in the overlay includes window signage, painted signage on wooden facades, wood signs, signs on awnings, signs lit by sources other than the sign itself, or decorative signs hung perpendicular to the building façade. Wood facsimile products may be an acceptable substitute. Use of backlit plastic wall signs, extruded aluminum, changing message, or other newer technology signs are prohibited. Use of neon signs is also prohibited.

Exhibit C: Proposed Zoning Map Amendments
Amendment to Old Town Zone



Addition of Old Town
Historic Core Overlay
to Zoning Map

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**NOTICE OF PUBLIC HEARING
CITY OF REDMOND**

**Comprehensive Plan and Zoning Code Amendments for
Old Town Historic Core Overlay and Gilman Street**

The City of Redmond Planning Commission will hold a Public Hearing in the **Council Chambers, 15670 NE 85th Street, Redmond, Washington** on Wednesday, July 15, 2015 *at 7:00 p.m.* or as soon thereafter as possible.

SUBJECT:

The proposed amendments to the Comprehensive Plan and Zoning Code are the first phase of development of a plan for the Old Town Historic Core portion of Downtown Redmond. This phase includes:

- Amendments to the Comprehensive Plan – recognizing the Historic Core and updating associated policies including:
 - Goals, Vision, and Framework Policies;
 - Community Character and Historic Preservation Policies; and
 - Urban Centers – Downtown Neighborhood Policies;
- Amendments to the Redmond Zoning Code, particularly:
 - Identification of the Historic Core Overlay area including on the Zoning Map
 - Updates to design standards and other Zoning Code provisions related to development in the Historic Core; and
 - Updates to the Downtown Pedestrian System map, including for Gilman Street.

REQUESTED ACTION: Recommendation on the proposed Comprehensive Plan and Zoning Code amendments.

All persons are invited to comment in person at the hearing, or in writing prior to the hearing, at City Hall, P.O. Box 97010, Redmond, Washington, 98073-9710. Telephone number: (425) 556-2440, Fax Number: (425) 556-4242, or **Contact Kimberly Dietz (425-556-2415, kdietz@redmond.gov), Sarah Stiteler (425-556-2469, ssiteler@redmond.gov), or Patrick McGrath (425-556-2870, pbmcgrath@redmond.gov) for more information.**

A copy of the proposal will be available no later than June 26, 2015 from the Planning Department, 4th Floor of City Hall and on the City's website.

If you are hearing or visually impaired, please notify the Planning Department at (425) 556-2440 one week in advance of the hearing in order to be provided assistance.

LEGAL NOTICE: June 24, 2015



STATE ENVIRONMENTAL POLICY ACT (SEPA) DETERMINATION OF NON-SIGNIFICANCE

For more information about this project visit www.redmond.gov/landuseapps

PROJECT INFORMATION

PROJECT NAME: Policy & Code Amend Historic Core & Gilman St.

SEPA FILE NUMBER: SEPA-2015-00993

PROJECT DESCRIPTION:
Old Town Historic Core Overlay Zoning Code Amendment

PROJECT LOCATION: Old Town

SITE ADDRESS:

APPLICANT: Kim Dietz

LEAD AGENCY: City of Redmond

The lead agency for this proposal has determined that the requirements of environmental analysis, protection, and mitigation measures have been adequately addressed through the City's regulations and Comprehensive Plan together with applicable State and Federal laws.

Additionally, the lead agency has determined that the proposal does not have a probable significant adverse impact on the environment as described under SEPA.

An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. **This information is available to the public on request.**

CITY CONTACT INFORMATION

PROJECT PLANNER NAME: Cathy Beam

PHONE NUMBER: 425-556-2429

EMAIL: cbeam@redmond.gov

IMPORTANT DATES

COMMENT PERIOD

Depending upon the proposal, a comment period may not be required. An "**X**" is placed next to the applicable comment period provision.

There is no comment period for this DNS. Please see below for appeal provisions.

'X' This DNS is issued under WAC 197-11-340(2), and the lead agency will not make a decision on this proposal for 14 days from the date below. Comments can be submitted to the Project Planner, via phone, fax (425)556-2400, email or in person at the Development Services Center located at 15670 NE 85th Street, Redmond, WA 98052. **Comments must be submitted by 06/30/2015.**

APPEAL PERIOD

You may appeal this determination to the City of Redmond Planning Department, Redmond City Hall, 15670 NE 85th Street, P.O. Box 97010, Redmond, WA 98073-9710, **no later than 5:00 p.m. on 07/15/2015**, by submitting a completed City of Redmond Appeal Application Form available on the City's website at www.redmond.gov or at City Hall. You should be prepared to make specific factual objections.

DATE OF DNS ISSUANCE: June 17, 2015

For more information about the project or SEPA procedures, please contact the project planner.

RESPONSIBLE OFFICIAL: Robert G. Odle
Planning Director

SIGNATURE: 

RESPONSIBLE OFFICIAL: Linda E. De Boldt
Public Works Director

SIGNATURE: 

Address: 15670 NE 85th Street Redmond, WA 98052



CITY OF REDMOND

ENVIRONMENTAL CHECKLIST

Non-Project Action

Purpose of Checklist:

The State Environmental Policy Act (SEPA), chapter 43.21C RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the City of Redmond identify impacts from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the agency decide whether an EIS is required.

Instructions for Applicants:

This environmental checklist asks you to describe some basic information about your proposal. Governmental agencies use this checklist to determine whether the environmental impacts of your proposal are significant, requiring preparation of an EIS. Answer the questions briefly, with the most precise information known, or give the best description you can.

You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations without the need to hire experts. If you really do not know the answer, or if a question does not apply to your proposal, write "do not know" or "does not apply" and indicate the reason why the question "does not apply". It is not adequate to submit responses such as "N/A" or "does not apply"; without providing a reason why the specific section does not relate or cause an impact. Complete answers to the questions now may avoid unnecessary delays later. If you need more space to write answers attach them and reference. The references in the checklist to the words "project," "applicant," and "property or site" should be read as "proposal," "proposer," and "affected geographic area," respectively due to the fact this is a non-project action.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. When you submit this checklist the City may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

For Agency Use Only

Planner Name

CBeam

Date of Review

6/3/15

To be completed by applicant	Evaluation for Agency Use only
<p>A. BACKGROUND</p> <p>1. Name of proposed project, if applicable: Comprehensive Plan and Zoning Code Amendments for the Old Town Historic Core Overlay and Gilman Street</p> <p>2. Name of applicant: City of Redmond 15670 NE 85th Street, MS: 4SPL Redmond, WA 98073-9710</p> <p>3. Address and phone number of applicant and Contact person: Kimberly Dietz, Senior Planner Dept. of Planning and Community Development Address same as above.</p> <p>4. Date checklist prepared: May 19, 2015</p> <p>5. Agency requesting checklist: City of Redmond</p> <p>6. Give an accurate, brief description of the proposal's scope and nature:</p> <p>i. Acreage of the site: <u>9 acres</u></p> <p>ii. Number of dwelling units/ buildings to be constructed: <u>zero</u></p> <p>iii. Square footage of dwelling units/ buildings being added: <u>zero</u></p> <p>iv. Square footage of pavement being added: <u>zero</u></p> <p>v. Use or Principal Activity: <u>Old Town zone - commercial downtown, urb</u> </p> <p>vi. Other information: _____</p>	<p>CB</p> <p>CB</p> <p>CB - Contact phone number 425-556-2415</p> <p>CB</p> <p>CB</p> <p>CB</p>

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<p>7. Proposed timing or schedule (including phasing, if applicable):</p> <p>Technical Committee review in May and June, 2015 Planning Commission review and recommendation in June - August 2015 City Council review and action in August - October 2015</p> <p>8. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, explain</p> <p>Subsequent policy amendments possible to address marketing, tourism, and economic vitality.</p> <p>9. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.</p> <p>None known.</p> <p>10. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, explain.</p> <p>No applications have been submitted for review or approval within the proposed Overlay area.</p>	<p>CB</p> <p>CB - "No" box should not be checked.</p> <p>CB - This Environmental Checklist</p> <p>CB</p>

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<p>11. List any government approvals or permits that will be needed for your proposal, if known.</p> <p>The proposed Comprehensive Plan and Zoning Code amendments would require approval by the City Council.</p> <p>12. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.)</p> <p>The Old Town Historic Core is located from NE 76th to NE 80th Street and from 162nd to 164th Avenue NE. Gilman Street extends from the Redmond Central Connector to 164th Avenue NE/NE 80th Street.</p> <p>This amendment would establish the Old Town Historic Core Overlay within the Old Town Zone and includes associated policy and code amendments.</p> <p>Also, this amendment also includes updates to the Downtown Pedestrian System map, RZC Map 10.3, to reflect an amended street type for Gilman Street and new non-motorized, pedestrian connections within the Historic Core Overlay.</p> <p>13. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.</p> <p>The Old Town Historic Core is located from NE 76th to NE 80th Street and from 162nd to 164th Avenue NE. Gilman Street extends from the Redmond Central Connector to 164th Avenue NE/NE 80th Street.</p> <p>A project area map has been submitted with the General Application that defines the exact boundaries within the range described above.</p>	<p>CB - Type VI process</p> <p>CB</p> <p>CB - Include map at end of checklist.</p>

C. SIGNATURE

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: Kim Dietz Digitally signed by Kim Dietz
DN: cn=Kim Dietz
Date: 2015.05.19 15:54:32 -07'00'

Date Submitted: May 19, 2015

Relationship of signer to project: Applicant, Staff Contact

To be completed by applicant	Evaluation for Agency Use only
<p>D. <u>SUPPLEMENTAL SHEET</u></p> <p>Because these questions are very general, it may be helpful to read them in conjunction with the list of the elements of the environment.</p> <p>When answering these questions, be aware of the extent the proposal or the types of activities likely to result from the proposal, would affect the item at a greater intensity or at a faster rate than if the proposal were not implemented. Respond briefly and in general terms.</p> <p>1. How would the proposal be likely to increase discharge to water; emissions to air; production, storage, or release of toxic or hazardous substances; or production of noise:</p> <p>This is a non-project action; however, allowances for some additional floor area could result from the proposal. Projects proposed following this amendment would be considered on an individual basis.</p> <p>Proposed measures to avoid or reduce such increases are:</p> <p>Access to high-capacity transit within close proximity to the Historic Core could help to reduce the possible, addtl. auto trips generated from additional floor area. Low impact development and green building incentives could also help mitigate increases.</p> <p>2. How would the proposal be likely to affect plants, animals, fish, or marine life?</p> <p>The proposal includes design standards that would maintain and increase the amount of vegetation provided at the streetscape and along the sidewalk.</p> <p>Proposed measures to protect or conserve plants, animals, fish or marine life are:</p> <p>As describe above, the amendment includes design guidelines and streetscape standards that would require, incentivize, and encourage maintaining and increasing the amount vegetation provided within Historic Core Overlay.</p>	<p>CB</p> <p>CB</p> <p>CB</p> <p>CB</p>

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<p>3. How would the proposal be likely to deplete energy or natural resources?</p> <p>This proposal is a non-project action and would not deplete energy or natural resources. The proposed amendments would address design and streetscape standards without proposing changes to land uses.</p> <p>Proposed measures to protect or conserve energy and natural resources are:</p> <p>In addition to that which is already provided for in the Redmond Zoning Code, the amendments would propose additional non-motorized connections and pedestrian-oriented streets that would support walking and bicycling thereby helping reducing the amount of energy consumption for personal transportation.</p>	<p>CB</p> <p>CB</p>
<p>4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection; such as parks, wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, floodplains, or prime farmlands:</p> <p>This amendment would include a portion of the Old Town Zone, a commercial designation in the Downtown urban center. The Historic Core Overlay includes parks and a majority of the City's historic landmarks, no changes would be proposed to these.</p> <p>Proposed measures to protect such resources or to avoid or reduce impacts are:</p> <p>This amendment would maintain the City's standards for addressing historic and landmark properties. The Sec. of Int.'s Standards for Cultural/Historic Resources and the Certificate of Appropriateness regarding landmarks would continue to apply.</p>	<p>CB</p> <p>CB</p>
<p>5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans?</p> <p>This amendment addresses the design and streetscape standards within the newly proposed Historic Core Overlay and would not propose changes to land uses. Additionally, the Overlay is not located near a shoreline.</p>	<p>CB</p>

To be completed by applicant	Evaluation for Agency Use only
<p>Proposed measures to avoid or reduce shoreline and land use impacts are:</p> <p>No measures would be included due to limited scope of this amendment. No amendments would be proposed regarding land uses. As well, the proposed Overlay is not located near a shoreline.</p> <p>6. How would the proposal be likely to increase transportation or public services and utilities?</p> <p>The proposal would not increase transportation or public service and utilities. The changes would be to streetscape design standards on existing streets. No vehicular street cross-section components would be added or removed.</p> <p>Proposed measures to reduce or respond to such demand(s) are:</p> <p>The amendments would propose additional non-motorized connections and pedestrian-oriented streets that would support additional walking and bicycling trips, possibly helping to alleviate some demand on the vehicular network.</p> <p>7. Identify, if possible, whether the proposal may conflict with local, state, or federal laws or requirements for the protection of the environment.</p> <p>This amendment would not introduce conflict with local, state, or federal laws or requirements. This amendment would address the design of new development within a designated urban center in a way that complements and is sympathetic to the historic and landmark structures located within the Historic Core Overlay. Incentives and regulations for the preservation of historic structures and protection for the environment would remain, as currently provided for in the Redmond Zoning Code.</p>	<p>CB</p> <p>CB</p> <p>CB</p> <p>CB</p>



HISTORIC CORE
REDMOND

Gilman Street amendment boundaries

1. Justice White House, 1899
2. Bill Brown Building, 1913
3. Walther/Grand Central, 1910
4. Bill Brown Garage, 1920
5. Bechtol Drugstore, 1938
6. Odd Fellows Hall, 1903
7. Donnelly Merchantile, 1900/1918
8. Lodge Hall/Hardware, 1903
9. Skjarstad Boot Shop, 1904
10. Lampaert's Butcher Shop, 1913
11. Redmond State Bank, 1911
12. Wiley Stone House, 1916
13. Youngerman's General Merchandise, 1899
14. Redmond Trading Co., 1908

● Indicates Landmarked Property

Exhibit F: Summary of Community and Stakeholder Engagement

Community and stakeholder engagement regarding the Old Town Historic Core took place over 16 months from March 2014 through July 2015. Engagement activities included the following:

- **Walk & Talk and Urban Diary** – This event was in partnership with Feet First and invited the community to visit 10 locations in the Old Town Historic Core to evaluate existing conditions. Participants worked with group leaders to answer questions regarding architecture, designs, amenities, landscaping, gateway treatments, and streetscape elements. 30 people participated.
- **Questionnaire** – Several questionnaires were distributed through mail, in person, and online throughout the engagement period.
- **Displays** – Various display material invited comments and questions from the community and stakeholders. For example, a display table was provided at the Redmond Historical Society's October 2014 Saturday Speaker Series. Staff distributed project information to 100 Speaker Series attendees.
- **Old Town Historic Core Stakeholders** – Staff continues to maintain frequent communication through mail, e-mail, and in person with stakeholders including business and property owners, developers, board members of the Redmond Historical Society, OneRedmond, and interested parties regarding Old Town Historic Core milestones such as comment opportunities and public hearing dates.
- **Office Hours** – Staff met with the community and stakeholders through two office hour events: the first offering three alternative meeting dates and the second offering one meeting date over an extended timeframe. These were held in the Old Town Historic Core during daytime, business hours, recognizing the limited availability of business owner/operators. Many business owners as well as some property owners and developers attended these events.
- **Display Space** – As follow up to the second office hour event, material was featured in a display space at City Hall. Community, stakeholders, and staff were invited to view and comment on the material over one week.
- **Webpage** – Information and event opportunities continue to be posted to www.redmond.gov/history.
- **E-mail, Mail, and Social Media** – Staff provided frequent notices and other information through a stakeholder e-mail and mail distribution list. Social media and the Downtown Business/Resident contact list also helped community members learn about milestones and engagement opportunities.
- **Various Other In-Person Meetings** – To help ensure timely and in-depth review regarding the Old Town Historic Core and the proposed amendments, particularly regarding design standards, staff also met with stakeholders in various other in-person meetings. These involved site-specific consultation, walking tours, and workshops.

Design Standards Principles

Below is a list of ten design principles that will provide guidance in updating the Design Standards:

<p>1. Ensure new buildings are of a character and scale that is appropriate to the site and are of a form and size that reflect the human scale.</p>	
<p>2. Encourage building variety while providing for designs that reflect the context of the site and that include some unifying elements of consistency within specific districts. (E.g.: Use of brick near historic core to create a more unified district.)</p>	
<p>3. Activate the urban pedestrian environments by encouraging pedestrian friendly streetscapes and block fronts and by incorporating landscaping.</p>	
<p>4. Encourage buildings with a variety of heights and interesting roof forms.</p>	
<p>5. Ensure that new buildings enhance rather than detract from nearby or adjacent historic structures.</p>	

6. Encourage more public spaces (plazas or green spaces) in conjunction with new buildings.



7. Promote sustainable, innovative development projects that will provide long-term community benefits and have a high environmental and visual quality.



8. Encourage the use of high quality urban materials and integrated design details between floors one through three for new construction.



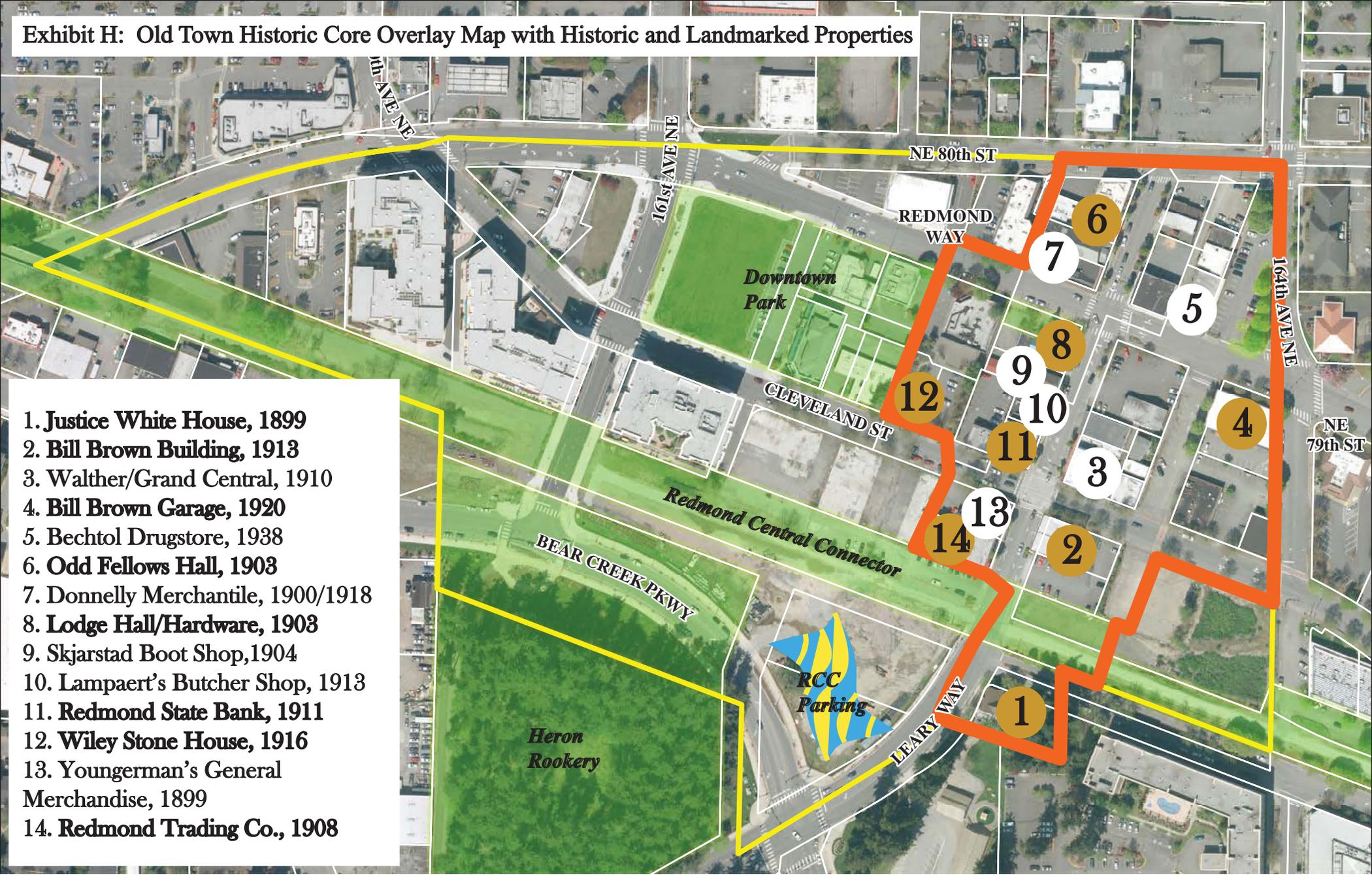
9. Encourage the use of distinctive design, rich northwest color palates, and long lasting materials.



10. Ensure that individual building elements and details are visually consistent with a building's overall architectural style.



Exhibit H: Old Town Historic Core Overlay Map with Historic and Landmarked Properties



1. Justice White House, 1899
2. Bill Brown Building, 1913
3. Walther/Grand Central, 1910
4. Bill Brown Garage, 1920
5. Bechtol Drugstore, 1938
6. Odd Fellows Hall, 1903
7. Donnelly Merchantile, 1900/1918
8. Lodge Hall/Hardware, 1903
9. Skjarstad Boot Shop, 1904
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Legend

-  Historic Core Overlay
-  Old Town Zone
-  Indicates Landmarked Property



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